



Florida Department of Transportation

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KEVIN J. THIBAUT, P.E.
SECRETARY

December 8, 2020

Timothy A. Parsons, Ph.D.
Director, Division of Historical Resources, and
State Historic Preservation Officer
R.A. Gray Building
500 S. Bronough Street
Tallahassee FL 32399-0250

Attention: Dr. Adrienne Daggett, Transportation Compliance Review Section

Re: Updated Determination of Effects Associated with the Cultural Resource Assessment Survey for the SR 826/Palmetto Expressway From South of NW 36th Street (MP 8.355) to North of NW 154th Street (MP 17.950) Project Development & Environment Study, Miami-Dade County, Florida
Financial Management Numbers: 447165-1-22-01, 441830-1-22-01, 441831-1-22-01
Federal Aid Project Number: N/A
ETDM Number: 14455

Dear Dr. Parsons,

Please find the Cultural Resource Assessment Survey (CRAS) Project Development and Environment (PD&E) Study for the State Road (SR) 826/Palmetto Expressway from South of NW 36th Street (MP 8.355) to North of NW 154th Street (MP 17.950), in the towns of Miami Lakes and Medley and the cities of Doral, Hialeah, and Hialeah Gardens, as well as unincorporated Miami-Dade County, Florida (Financial Project ID [FPID] Nos. 447165-1-22-01, 441830-1-22-01, and 441831-1-22-01). The purpose of this CRAS was to locate and evaluate archaeological and historic resources within the area of potential effect (APE) and to assess their eligibility for inclusion in the *National Register of Historic Places* (National Register) according to the criteria set forth in 36 CFR Section 60.4.

This assessment complies with the revised Chapter 267, *Florida Statutes* (F.S.); and standards embodied in the Florida Division of Historical Resources (FDHR) *Cultural Resource Management Standards and Operational Manual* (February 2003), and Chapter 1A-46 (*Archaeological and Historical Report Standards and Guidelines*), *Florida Administrative Code*. In addition, this report was prepared in conformity with standards set forth in Part 2, Chapter 8 (*Archaeological and Historical Resources*) of the FDOT *Project Development and Environment (PD&E) Manual* (effective July 1, 2020).

All work also conforms to professional guidelines set forth in the *Secretary of Interior's Standards and Guidelines for Archaeology and Historic Preservation* (48 FR 44716, as amended and annotated).

The current study area has been surveyed and evaluated during several recent studies. In 2010, Janus Research conducted a *CRAS of the I-75 PD&E Study from SR 826 (Palmetto Expressway) to North of Florida's Turnpike (HEFT), Miami-Dade County, Florida, FM No. 420669-1-22-01* [Florida Master Site File (FMSF) Manuscript No. 17998] as part of a PD&E study that included the evaluation of proposed improvements along SR 826/Palmetto Expressway from NW 103rd Street to NW 154th Street. The State Historic Preservation Officer (SHPO) concurred with the determinations and findings of this survey on February 15, 2011. In 2012, Janus Research conducted a *CRAS of the SR 826/Palmetto Expressway Managed Lanes PD&E Study, FM No. 418423-3-22-01* (FMSF Manuscript No. 19276) as part of another PD&E study that included the evaluation of proposed improvements along SR 826/Palmetto Expressway from south of SR 836/Dolphin Expressway to NW 103rd Street. The SHPO concurred with the relevant determinations and findings of this survey on August 3, 2012.

In 2016, Janus Research conducted the *CRAS Reevaluation for the SR 826 (Palmetto Expressway) from Flagler Street to NW 154th Street and SR 93/I-75 from SR 826 to NW 170th Street, Miami-Dade County, Florida* (FPID Nos. 432687-1-52-01 and 432687-1-52-01; FMSF Manuscript No. 23335). This survey was an update to the 2010 and 2012 CRAS reports conducted due to design changes to the Design Build project to construct improvements evaluated during both the above referenced 2010 PD&E study, as well as the 2012 PD&E study for SR 826 (Palmetto Expressway) from NW 103rd Street to NW 154th Street (432687-3-22-01). This project converted an existing general purpose (GP) lane that was originally built to be operated as a High Occupancy Vehicle (HOV) lane, into an express lane (EL). The project also provided a second EL through widening and reduced lane width, shoulder width, and EL buffer width for the majority of the project limits. The SHPO concurred with the determinations and findings of this survey on November 2, 2016.

After the Palmetto ELs were opened to traffic in August 2019 and toll collection in September 2019, additional congestion and large differential between EL higher speeds and GP lanes lower speeds were observed in both the northbound (NB) and southbound (SB) directions during peak travel times. Janus Research prepared two CRAS updates, *Palmetto Express Lanes Modification – Interim Solution: Cultural Resource Assessment Survey Update to SR 826/Palmetto Expressway Project Development and Environment (PD&E) Study from South of SR 836 to North of SR 93/I-75* (FPID No. 418423-3-22-01), *Miami-Dade County, Florida* and *Palmetto Express Lanes Modification – Interim Solution: Cultural Resource Assessment Survey Update to SR 93/I-75 Project Development and Environment (PD&E) Study from State Road (SR) 826/Palmetto Expressway to North of Florida's Turnpike* (FPID No. 420669-1-22-01), *Miami-Dade County, Florida* (2020a; 2020b) to coordinate an interim solution for the NB lanes to be implemented immediately and to provide measurable improvements without

the need to acquire right-of-way (ROW) and to avoid impacts to adjacent Florida Gas Transmission lines. The SHPO concurred with the findings of each of these reports on April 2, 2020.

The current survey is being conducted for the PD&E study to address a permanent solution for both the NB and SB lanes. This survey focused on identifying archaeological resources within the current APE as well as identifying historic resources which have become historic since the time of the previous studies and confirming there are no changes to the eligibility status of the previously identified National Register-eligible historic resources.

Two archaeological resources (8DA40 and 8DA75) were identified within the archaeological APE during the background research. The pedestrian survey did not identify any remains of these sites and confirmed the disturbed nature of the corridor. Subsurface testing within the corridor was not possible due to the extent of hardscape, underground utilities and drainage, and land modification. The desktop analysis and pedestrian survey determined that the portion of the archaeological APE that was not previously comprehensively surveyed exhibited a low potential for containing intact archaeological sites. No Miami-Dade County-designated archaeological sites or zones are located within the APE.

SHPO previously determined the unnamed site (8DA40) on the western side of SR 826 to be National Register-eligible. The area recorded as 8DA40 is currently within the limits of a paved frontage road and driveway entrance to a paved Wal-Mart parking lot. A landscaped berm is adjacent to the parking lot. Between the berm and the frontage road are a marked fiber optic cable utility line and an existing drainage system that, based on visual inspection through a grate-covered inlet, appears to extend at least six feet deep. The paved shoulder of the frontage road is separated from the paved expressway by a concrete barrier. It is unclear which National Register Criterion or Criteria SHPO considered site 8DA40 to meet based on the FMSF data, but archaeological sites are most often eligible under Criterion D for research potential. Archaeologists from the Archaeological and Historical Conservancy, Inc. who monitored the construction of the improvements for the most recent PD&E project documented the presence of fill and extremely disturbed soils within the limits of the site. They identified no archaeological materials. No remnants of site 8DA40 have been found to be expressed within the disturbed right of way containing the project improvements. The recorded portion of site 8DA40 within the FDOT ROW lacks archaeological data; it has no research potential and no integrity, and would not contribute to the National Register eligibility of any undiscovered intact portion of 8DA40 that may exist within private property beyond the FDOT ROW. The archaeological APE for this project has already been documented as disturbed and lacking archaeological remains associated with 8DA40. The proposed project will not alter, damage, destroy, or remove any intact portion of site 8DA40. If the site was once present in this area, that portion of the site has already been destroyed; the proposed project will therefore have no adverse effect on 8DA40.

No remnants of the Hialeah 1 archaeological site (8DA75) have been identified within the project APE, including during archaeological monitoring of the construction of the improvements for the most recent PD&E project conducted by Archaeological and Historical Conservancy, Inc. Archaeologists who conducted the monitoring documented the presence of fill and extremely disturbed soils within the recorded limits of the site. The portion of the existing road ROW within the recorded limits of 8DA75 contains a concrete sidewalk and buried water line, a sodded strip containing a gas pipeline, a paved frontage road, and another sodded strip containing landscaping and a fiber optic cable line and ITS equipment adjacent to the barrier wall for the elevated expressway. There is no National Register-eligible portion of site 8DA75 within the project APE on which to apply the Criteria of Adverse Effects. However, if any undiscovered intact portion of 8DA75 exists beyond the FDOT ROW, which has already been documented as disturbed and lacking archaeological remains associated with 8DA75, it will not be adversely affected by the proposed project. The proposed project will not alter, damage, destroy, or remove any intact portion of site 8DA75. If the site was once present in this area, that portion of the site has already been destroyed; the proposed project will have no adverse effect on 8DA75.

The historic resources survey resulted in the identification of 49 historic resources within the historic resources APE. The resources include 15 previously recorded historic resources and 34 newly recorded historic resources. The 15 previously recorded historic resources include: six historic linear resources, six historic structures, two historic bridges, and one designed historic landscape. Two of these previously recorded historic resources have been determined eligible for listing in the National Register by the SHPO: the Miami Canal (8DA6525) and the FEC Railway (8DA10107). Twelve previously recorded historic resources were determined ineligible for listing in the National Register by the SHPO (8DA6352, 8DA11420, 8DA11680-8DA11683, 8DA12380-8DA12382, 8DA12389, 8DA12390, and 8DA15160). The one remaining previously recorded historic resource, 8DA12383, was determined to have insufficient information for an evaluation of National Register-eligibility by the SHPO.

FMSF forms were updated for two previously recorded historic resources: 8DA12382 and 8DA12383. The FMSF form for 8DA12382 was updated to correct the address, which is incorrectly listed in the FMSF, but no changes to the resource since it was last recorded were observed, and it is still considered National Register-ineligible. The FMSF form for 8DA12383 was updated to correct the address, which is also incorrectly listed in the FMSF, and to update the evaluation of significance since it was first recorded since the SHPO did not provide a determination of eligibility. 8DA12383 exhibits a common architectural style found in South Florida, and limited research did not reveal any historical associations with significant people or events. Therefore, 8DA12383 is considered ineligible for listing in the National Register, either individually or as part of a historic district.

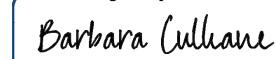
The 34 newly recorded resources within the historic resources APE include 27 historic structures (8DA19117-8DA19143), four historic resource groups (8DA19147-8DA19150), and three historic bridges (8DA19154-8DA19156). The four newly recorded resource groups include one industrial complex and three condominium complexes located on parcels that are partially within the historic resources APE. The 31 newly recorded historic resources are considered ineligible for listing in the National Register, either individually or as part of a historic district.

The three bridges identified during this study (8DA19154-8DA19156) are common bridge types, reinforced concrete slab and prestressed concrete multi-beam, and meet the criteria for the 2012 Program Comment issued by the Advisory Council on Historic Preservation (ACHP), Streamlining Section 106 Review for Actions Affecting Post-1945 Concrete and Steel Bridges (ACHP 2012). All three bridges are exempt from Section 106 consideration and were not evaluated for eligibility for the National Register; however, they were recorded and documented in the FMSF.

As previously noted, two resources in the APE have been determined eligible for listing in the National Register by the SHPO: the Miami Canal (8DA6525) and the FEC Railway (8DA10107). At the Miami Canal location, there are no improvements to the facility's bridge structure that crosses over the Miami Canal. At the FEC Railway, the southbound SR 826 bridge will be widened by 22 feet over the railroad to provide the an additional lane of capacity. The widening will include all necessary substructure and superstructure work necessary to complete the widening and the construction of crash walls adjacent to the railroad. However, no ROW will be required from the railroad and no materials or features will be impacted. Based on the improvements proposed at these two locations, the Miami Canal and the FEC Railway will not be adversely affected by the project. Although this project is being conducted under Chapter 267, *F.S.*, this effects evaluation acknowledges the guidance provided by *Section 106 of the National Historic Preservation Act*.

We kindly request that this letter and document are reviewed, and concurrence is provided by your office. This information is provided with in accordance with the provisions contained in the revised Chapter 267, *F.S.* If you have any questions regarding the subject project, please contact me at Barbara.Culhane@dot.state.fl.us or (305) 470-5231.

Sincerely,
DocuSigned by:



Barbara B. Culhane, M.S., A.I.C.P.

District Cultural Resources Coordinator

The Florida Division of Historical Resources finds the attached document complete and sufficient and ☒ concurs/ ☐ does not concur with the recommendations and findings provided in this cover letter for SHPO/FDHR Project File Number 2020-6778.

Comments:

Jason Aldridge DSHPO

December 10, 2020

Timothy A. Parsons, Ph.D., Director, and
State Historic Preservation Officer
Florida Division of Historical Resources

[DATE]



December 2020

Cultural Resource Assessment Survey

SR 826/Palmetto Expressway
From South of NW 36th Street (MP 8.355) to North of NW 154th Street (MP 17.950)
Project Development & Environment Study
Miami-Dade County, Florida

Financial Management Numbers: 447165-1-22-01, 441830-1-22-01, 441831-1-22-01
Federal Aid Project Number: N/A
ETDM Number: 14455

EXECUTIVE SUMMARY

In 2020, the Florida Department of Transportation (FDOT), District 6 engaged Janus Research to conduct a Cultural Resource Assessment Survey (CRAS) Project Development and Environment (PD&E) Study for the State Road (SR) 826/Palmetto Expressway from South of NW 36th Street (MP 8.355) to North of NW 154th Street (MP 17.950), in the towns of Miami Lakes and Medley and the cities of Doral, Hialeah and Hialeah Gardens, as well as unincorporated Miami-Dade County, Florida (Financial Project ID [FPID] Nos. 447165-1-22-01, 441830-1-22-01, and 441831-1-22-01). The purpose of this CRAS was to locate and evaluate archaeological and historic resources within the area of potential effect (APE) and to assess their eligibility for inclusion in the *National Register of Historic Places* (National Register) according to the criteria set forth in 36 CFR Section 60.4.

This assessment complies with the revised Chapter 267, *Florida Statutes (F.S.)*; and standards embodied in the Florida Division of Historical Resources (FDHR) *Cultural Resource Management Standards and Operational Manual* (February 2003), and Chapter 1A-46 (*Archaeological and Historical Report Standards and Guidelines*), *Florida Administrative Code*. In addition, this report was prepared in conformity with standards set forth in Part 2, Chapter 8 (*Archaeological and Historical Resources*) of the *FDOT Project Development and Environment (PD&E) Manual* (effective July 1, 2020). All work also conforms to professional guidelines set forth in the *Secretary of Interior's Standards and Guidelines for Archaeology and Historic Preservation* (48 FR 44716, as amended and annotated).

Principal Investigators meet the *Secretary of the Interior's Professional Qualification Standards* (48 FR 44716) for archaeology, history, architecture, architectural history, or historic architecture. Historic resource investigations were conducted under the direction of Amy Groover Streelman, M.H.P. Archaeological investigations were conducted under the direction of Kathleen S. Hoffman, Ph.D.

The current study area has been surveyed and evaluated during several recent studies. In 2010, Janus Research conducted a *CRAS of the I-75 PD&E Study from SR 826 (Palmetto Expressway) to North of Florida's Turnpike (HEFT), Miami-Dade County, Florida, FM No. 420669-1-22-01* [Florida Master Site File (FMSF) Manuscript No. 17998] as part of a PD&E study that included the evaluation of proposed improvements along SR 826/Palmetto Expressway from NW 103rd Street to NW 154th Street. The State Historic Preservation Officer (SHPO) concurred with the determinations and findings of this survey on February 15, 2011. In 2012, Janus Research conducted a *CRAS of the SR 826/Palmetto Expressway Managed Lanes PD&E Study, FM No. 418423-3-22-01* (FMSF Manuscript No. 19276) as part of another PD&E study that included the evaluation of proposed improvements along SR 826/Palmetto Expressway from south of SR 836/Dolphin Expressway to NW 103rd Street. The SHPO concurred with the relevant determinations and findings of this survey on August 3, 2012.

In 2016, Janus Research conducted the *CRAS Reevaluation for the SR 826 (Palmetto Expressway) from Flagler Street to NW 154th Street and SR 93/I-75 from SR 826 to NW 170th Street, Miami-Dade County, Florida* (FPID Nos. 432687-1-52-01 and 432687-1-52-01; FMSF

Manuscript No. 23335). This survey was an update to the 2010 and 2012 CRAS reports conducted due to design changes to the Design Build project to construct improvements evaluated during both the above referenced 2010 PD&E study, as well as the 2012 PD&E study for SR 826 (Palmetto Expressway) from NW 103rd Street to NW 154th Street (432687-3-22-01). This project converted an existing general purpose (GP) lane that was originally built to be operated as a High Occupancy Vehicle (HOV) lane, into an express lane (EL). The project also provided a second EL through widening and reduced lane width, shoulder width, and EL buffer width for the majority of the project limits. The SHPO concurred with the determinations and findings of this survey on November 2, 2016.

After the Palmetto ELs were opened to traffic in August 2019 and toll collection in September 2019, additional congestion and large differential between EL higher speeds and GP lanes lower speeds were observed in both the northbound (NB) and southbound (SB) directions during peak travel times. Janus Research prepared two CRAS updates, *Palmetto Express Lanes Modification – Interim Solution: Cultural Resource Assessment Survey Update to SR 826/Palmetto Expressway Project Development and Environment (PD&E) Study from South of SR 836 to North of SR 93/I-75 (FPID No. 418423-3-22-01), Miami-Dade County, Florida* and *Palmetto Express Lanes Modification – Interim Solution: Cultural Resource Assessment Survey Update to SR 93/I-75 Project Development and Environment (PD&E) Study from State Road (SR) 826/Palmetto Expressway to North of Florida’s Turnpike (FPID No. 420669-1-22-01), Miami-Dade County, Florida* (2020a; 2020b) to coordinate an interim solution for the NB lanes to be implemented immediately and to provide measurable improvements without the need to acquire right-of-way (ROW) and to avoid impacts to adjacent Florida Gas Transmission lines. The SHPO concurred with the findings of each of these reports on April 2, 2020.

The current survey is being conducted for the PD&E study to address a permanent solution for both the NB and SB lanes. A detailed discussion of the environmental setting, precontact and historic context, and archaeological site location model were included within the previous CRAS reports conducted in this corridor, especially the *CRAS of the I-75 PD&E Study from SR 826 (Palmetto Expressway) to North of Florida’s Turnpike (HEFT), Miami-Dade County, Florida, FM No. 420669-1-22-01* (Janus Research 2010; FMSF Manuscript No. 17998) and *CRAS of the SR 826/Palmetto Expressway Managed Lanes PD&E Study, FM No. 418423-3-22-01* (Janus Research 2012a; FMSF Manuscript No. 19276). Therefore, this information is not repeated within the current CRAS. Please refer to these previous studies for the overviews of the project area’s environmental and cultural history. This survey focused on identifying archaeological resources within the current APE as well as identifying historic resources which have become historic since the time of the previous studies and confirming there are no changes to the eligibility status of the previously identified National Register-eligible historic resources.

Two archaeological resources (8DA40 and 8DA75) were identified within the archaeological APE during the background research. The pedestrian survey did not identify any remains of these sites and confirmed the disturbed nature of the corridor. Subsurface testing within the corridor was not possible due to the extent of hardscape, underground utilities and drainage, and land modification. Previous archaeological monitoring conducted by Archaeological and

Historical Conservancy, Inc. during the construction of the improvements for the most recent PD&E in the area documented the presence of fill and extremely disturbed soils within the limits of the previously recorded archaeological sites. The desktop analysis and pedestrian survey determined that the portion of the archaeological APE that was not previously comprehensively surveyed exhibited a low potential for containing intact archaeological sites. No Miami-Dade County-designated archaeological sites or zones are located within the APE.

The historic resources survey resulted in the identification of 49 historic resources within the historic resources APE. The resources include 15 previously recorded historic resources and 34 newly recorded historic resources. The 15 previously recorded historic resources include: six historic linear resources, six historic structures, two historic bridges, and one designed historic landscape. Two of these previously recorded historic resources have been determined eligible for listing in the National Register by the SHPO: the Miami Canal (8DA6525) and the FEC Railway (8DA10107). Twelve previously recorded historic resources were determined ineligible for listing in the National Register by the SHPO (8DA6352, 8DA11420, 8DA11680-8DA11683, 8DA12380-8DA12382, 8DA12389, 8DA12390, and 8DA15160). The one remaining previously recorded historic resource, 8DA12383, was determined to have insufficient information for an evaluation of National Register-eligibility by the SHPO.

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The 34 newly recorded resources within the historic resources APE include 27 historic structures (8DA19117-8DA19143), four historic resource groups (8DA19147-8DA19150), and three historic bridges (8DA19154-8DA19156). The four newly recorded resource groups include one industrial complex and three condominium complexes located on parcels that are partially within the historic resources APE. All 31 newly recorded historic structures and four historic resource groups exhibit common architectural styles and design types found in South Florida. Many of the structures feature alterations or modifications which diminish their historic physical integrity including replaced windows, doors, or exterior material, the addition of non-historic exterior ornament, or additions to the historic structure. Research conducted during this study did not identify known associations with significant people or historical events. The portion of Miami-Dade County surrounding the historic resources APE was subject to large scale development beginning in the 1960s which coincided with increased population growth and the need for new residential, commercial, and industrial development. Therefore, these 31 newly recorded historic resources are considered ineligible for listing in the National Register, either individually or as part of a historic district.

The three bridges identified during this study (8DA19154-8DA19156) are common bridge types, reinforced concrete slab and prestressed concrete multi-beam, and meet the criteria for the 2012 Program Comment issued by the Advisory Council on Historic Preservation (ACHP), Streamlining Section 106 Review for Actions Affecting Post-1945 Concrete and Steel Bridges (ACHP 2012). All three bridges are exempt from Section 106 consideration and were not evaluated for eligibility for the National Register, however they were recorded and documented in the FMSF.

FMSF forms were completed for all newly recorded historic resources identified within the historic resources APE. The FMSF forms completed for the previously recorded historic resources and newly recorded historic resources during the current study are included in Appendix A.

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INTRODUCTION

In 2020, the Florida Department of Transportation (FDOT), District 6 engaged Janus Research to conduct a Cultural Resource Assessment Survey (CRAS) Project Development and Environment (PD&E) Study for the State Road (SR) 826/Palmetto Expressway from South of NW 36th Street (MP 8.355) to North of NW 154th Street (MP 17.950), in the towns of Miami Lakes and Medley and the cities of Doral, Hialeah and Hialeah Gardens, as well as unincorporated Miami-Dade County, Florida (Financial Project ID [FPID] Nos. 447165-1-22-01, 441830-1-22-01, and 441831-1-22-01). The purpose of this CRAS was to locate and evaluate archaeological and historic resources within the area of potential effect (APE) and to assess their eligibility for inclusion in the *National Register of Historic Places* (National Register) according to the criteria set forth in 36 CFR Section 60.4.

This assessment complies with the revised Chapter 267, *Florida Statutes (F.S.)*; and standards embodied in the Florida Division of Historical Resources (FDHR) *Cultural Resource Management Standards and Operational Manual* (February 2003), and Chapter 1A-46 (*Archaeological and Historical Report Standards and Guidelines*), *Florida Administrative Code*. In addition, this report was prepared in conformity with standards set forth in Part 2, Chapter 8 (*Archaeological and Historical Resources*) of the FDOT *Project Development and Environment (PD&E) Manual* (effective July 1, 2020). All work also conforms to professional guidelines set forth in the *Secretary of Interior's Standards and Guidelines for Archaeology and Historic Preservation* (48 FR 44716, as amended and annotated).

Principal Investigators meet the *Secretary of the Interior's Professional Qualification Standards* (48 FR 44716) for archaeology, history, architecture, architectural history, or historic architecture. Historic resource investigations were conducted under the direction of Amy Groover Streelman, M.H.P. Archaeological investigations were conducted under the direction of Kathleen S. Hoffman, Ph.D.

The current study area has been surveyed and evaluated during several recent studies. In 2010, Janus Research conducted a *CRAS of the I-75 PD&E Study from SR 826 (Palmetto Expressway) to North of Florida's Turnpike (HEFT), Miami-Dade County, Florida, FM No. 420669-1-22-01* [Florida Master Site File (FMSF) Manuscript No. 17998] as part of a PD&E study that included the evaluation of proposed improvements along SR 826/Palmetto Expressway from NW 103rd Street to NW 154th Street. The State Historic Preservation Officer (SHPO) concurred with the determinations and findings of this survey on February 15, 2011. In 2012, Janus Research conducted a *CRAS of the SR 826/Palmetto Expressway Managed Lanes PD&E Study, FM No. 418423-3-22-01* (FMSF Manuscript No. 19276) as part of another PD&E study that included the evaluation of proposed improvements along SR 826/Palmetto Expressway from south of SR 836/Dolphin Expressway to NW 103rd Street. The SHPO concurred with the relevant determinations and findings of this survey on August 3, 2012.

In 2016, Janus Research conducted the *CRAS Reevaluation for the SR 826 (Palmetto Expressway) from Flagler Street to NW 154th Street and SR 93/I-75 from SR 826 to NW 170th Street, Miami-Dade County, Florida* (FPID Nos. 432687-1-52-01 and 432687-1-52-01; FMSF Manuscript No.

23335). This survey was an update to the 2010 and 2012 CRAS reports conducted due to design changes to the Design Build project to construct improvements evaluated during both the above referenced 2010 PD&E study, as well as the 2012 PD&E study for SR 826 (Palmetto Expressway) from NW 103rd Street to NW 154th Street (432687-3-22-01). This project converted an existing general purpose (GP) lane that was originally built to be operated as a High Occupancy Vehicle (HOV) lane, into an express lane (EL). The project also provided a second EL through widening and reduced lane width, shoulder width, and EL buffer width for the majority of the project limits. The SHPO concurred with the determinations and findings of this survey on November 2, 2016.

After the Palmetto ELs were opened to traffic in August 2019 and toll collection in September 2019, additional congestion and large differential between EL higher speeds and GP lanes lower speeds were observed in both the northbound (NB) and southbound (SB) directions during peak travel times. Janus Research prepared two CRAS updates, *Palmetto Express Lanes Modification – Interim Solution: Cultural Resource Assessment Survey Update to SR 826/Palmetto Expressway Project Development and Environment (PD&E) Study from South of SR 836 to North of SR 93/I-75 (FPID No. 418423-3-22-01), Miami-Dade County, Florida* and *Palmetto Express Lanes Modification – Interim Solution: Cultural Resource Assessment Survey Update to SR 93/I-75 Project Development and Environment (PD&E) Study from State Road (SR) 826/Palmetto Expressway to North of Florida’s Turnpike (FPID No. 420669-1-22-01), Miami-Dade County, Florida* (2020a; 2020b) were prepared to coordinate an interim solution for the NB lanes to be implemented immediately and to provide measurable improvements without the need to acquire right-of-way (ROW) and to avoid impacts to adjacent Florida Gas Transmission lines. The SHPO concurred with the findings of each of these reports on April 2, 2020.

The current survey is being conducted for the PD&E study to address a permanent solution for both the NB and SB lanes. A detailed discussion of the environmental setting, precontact and historic context, and archaeological site location model were included within the previous CRAS reports conducted in this corridor, especially the *CRAS of the I-75 PD&E Study from SR 826 (Palmetto Expressway) to North of Florida’s Turnpike (HEFT), Miami-Dade County, Florida, FM No. 420669-1-22-01* (Janus Research 2010; FMSF Manuscript No. 17998) and *CRAS of the SR 826/Palmetto Expressway Managed Lanes PD&E Study, FM No. 418423-3-22-01* (Janus Research 2012a; FMSF Manuscript No. 19276) for these overviews of the project area’s environmental and cultural history. Therefore, this information is not repeated within the current CRAS. This survey focused on identifying archaeological resources within the current APE and identifying historic resources within the new APE, which are considered historic since the time of the previous studies and confirming there are no changes to the eligibility status of the previously identified National Register-eligible historic resources.

PROJECT DESCRIPTION

This roadway project involves the potential addition of general use lanes, conversion of express (managed) lanes to general use lanes, as well as traffic operational and geometrical design improvements on SR 826/Palmetto Expressway (herein referred to as SR 826) from south of NW 36th Street (Milepost (MP) 8.355) to north of NW 154th Street (MP 17.950) within Miami-Dade County. The improvements are proposed to address existing congestion and higher than expected speed differentials between the general purpose (GP) lanes and the express lanes (EL) along the project corridor, as well as provide additional access to the EL system. The project also includes potential improvements to the frontage road system parallel to and on both sides of SR 826 from US 27/SR 25/Okeechobee Road (herein referred to US 27) to NW 122nd Street.

Connecting population and commercial centers in north-central Miami-Dade County, the project traverses the municipalities of Doral, Medley, Hialeah Gardens, Hialeah, and Miami Lakes, as well as unincorporated portions of the county. SR 826 connects to essential east-west facilities within north-central Miami-Dade County, including SR 836/Dolphin Expressway, SR 948/NW 36th Street, SR 934/NW 74th Street (herein referred to as NW 74th Street), US 27, SR 932/NW 103rd Street (herein referred to as NW 103rd Street), I-75/SR 93, and SR 924/Gratigny Expressway.

Within the project limits, SR 826 is a principal arterial and consists of six (6) to nine (9) general use lanes and zero (0) to three (3) express (managed) lanes; the typical section varies throughout the project length. In addition, SR 826 is part of the state's emergency evacuation network and is on the National Highway System (NHS), the Strategic Intermodal System (SIS), and the State Highway System (SHS). The project location map is shown in Figure 1.

Purpose and Need

The purpose of this project is to address various roadway deficiencies causing congestion and large speed differentials between GP lanes and EL along the SR 826 corridor. Proposed improvements are anticipated to increase roadway safety, facilitate the movement of people and goods, and increase the capacity in the GP lanes. Another goal of the project is to improve access to the EL system by relocating an ingress point in northern Miami-Dade County. Additionally, the purpose of the project is to improve the geometry of the expressway frontage road system. The need for the project is based on the following criteria:

Roadway Deficiencies: Address Congestion and Speed Differentials

Following the opening of the SR 826 ELs to traffic in September 2019, additional congestion and higher than expected speed differentials between EL (higher speeds) and GP lanes (lower speeds) were observed in both the northbound and southbound directions during peak travel times. Areas identified for improvement include the NW 103rd Street interchange and from NW 74th Street to US 27 in the southbound direction. The issues identified in these areas are caused by geometric and operational deficiencies such as the lack of auxiliary lanes, insufficient ramp lengths, and substandard shoulders.

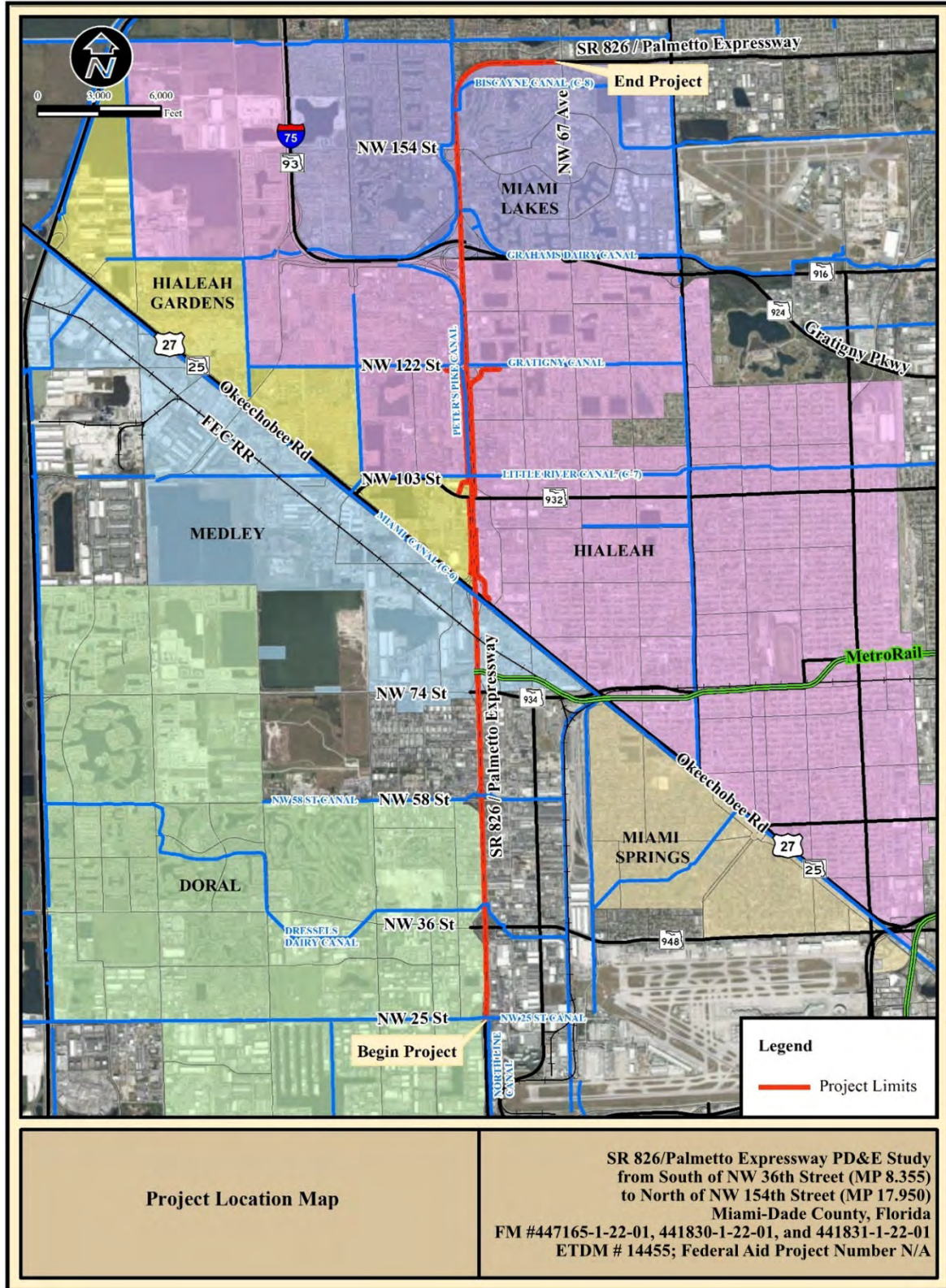


Figure 1: Project Location Map

The implementation of operational improvements to correct the identified roadway deficiencies on SR 826 would improve congestion and better align speeds between the EL and GP lanes. According to the Palmetto Express Lanes Modification Summary Report, an earlier planning study, the proposed improvements would result in a 56% and 42% reduction in travel times for the southbound and northbound GP lanes, respectively. In addition, throughput would increase a combined 58% and 11% in the southbound and northbound directions, respectively. While speed in the EL is not projected to increase, speeds in the GP lanes are forecasted to rise by 26 miles per hour in the southbound direction and 19 miles per hour in the northbound direction. These metrics illustrate how implementation of the potential improvements would address congestion and speed differentials currently caused by roadway deficiencies.

System Linkage: Provide Better Access to the EL System

Currently the southbound EL lanes begin north of NW 154th Street and do not provide southbound ingress for motorists in this area of north-central Miami-Dade County (after NW 67th Avenue). To better facilitate the movement of traffic from this area of increased demand into the EL system, the potential project improvements include relocating the existing EL ingress point from north of NW 154th Street to south of NW 103rd Street. This will create access to the EL system for residents in this portion of Miami-Dade County and create an important linkage to the EL system.

Project Study Area

The project study area consists of the existing and proposed ROW limits for the viable Build Alternative and the No-Build Alternative.

Existing Roadway Conditions

Data gathering focused on the areas of roadway mainline, bridge, frontage road, and environmental characteristics. Assessment of the existing conditions began with the collection and review of data pertaining to the existing facilities which included conducting on-site field inventories, review of existing documents, as well as, review of other pertinent data used for the evaluation of these transportation facilities.

Functional Classification

Within the project limits, SR 826 is functionally classified as an Urban Freeway/Expressway and is part of the NHS, the SIS, and the SHS. It consists of six (6) to nine (9) GP lanes and zero (0) to three (3) ELs.

Connecting population and commercial centers in north-central Miami-Dade County, the project traverses the municipalities of Doral, Medley, Hialeah Gardens, Hialeah, and Miami Lakes, as well as unincorporated portions of the county. SR 826 connects to essential east-west facilities within north-central Miami-Dade County, including SR 836/Dolphin Expressway, SR 948/NW 36th Street, NW 74th Street, US 27, NW 103rd Street, I-75/SR 93, and SR 924/Gratigny Parkway.

In addition, SR 826 is part of the state's emergency evacuation network. As a designated SIS highway corridor, it provides access via NW 74th Street (also known as Hialeah Expressway) and surface streets to the Miami Hialeah Florida East Coast (FEC) Railway Intermodal Terminal, a SIS Freight Rail Terminal.

The frontage road system within the project limits is functionally classified as an Urban Local facility. The SR 826 frontage road systems have a Context Classification of C-3C (Suburban Commercial); however, there are some adjacent residential properties.

Access Management

The SR 826 (section 87260000) is designated Access Class 1. The SR 826 frontage roads (sections 87260151, 87260152, 87260298, 87260506, and 87260521) do not have a designated Access Classification.

Typical Sections

SR 826 Typical Sections

Under existing conditions, SR 826 varies from six (6) to nine (9) GP lanes and includes up to three (3) ELs throughout the project corridor. The design and posted speeds for this barrier separated expressway system are 60 mph and 55 mph, respectively. Table 1 depicts the existing typical section characteristics for the project corridor.

Table 1: Existing SR 826 Typical Section Characteristics

Typical Section Element	SR 826 NB	SR 826 SB
Number of Travel Lanes	5	6
Travel Lane Width	11 ft	11 ft
Inside Shoulders Width	Varies 10-12 ft	Varies 3.5-12 ft
Outside Shoulders Width (Bike Lane)	Varies 10-12 ft	Varies 10-12 ft
Median Width	n/a	n/a
ROW Width	200 ft–270 ft	

In the northbound direction there is one (1) EL from south of US 27 to NW 103rd Street. The separate, single lane, I-75 northbound EL system begins north of NW 103rd Street on the inside of northbound SR 826. In the northbound direction on SR 826, there are five (5) GP lanes from the begin project to US 27; four (4) GP lanes from US 27 to north of the I-75 interchange; and three (3) GP lanes from north of the I-75 interchange to the end project.

In the southbound direction, there is one (1) EL and three (3) GP lanes from the end project (north of NW 154th Street) to the I-75 interchange. Immediately south of the interchange, the I-75 single EL turns into a second EL on SR 826 southbound, both of which extend all the way through the project limits. Also in the southbound direction, there are four (4) GP lanes from south of the I-75

interchange to north of the NW 103rd Street interchange; three (3) GP lanes within the NW 103rd Street interchange area; and four (4) GP lanes south of NW 103rd Street interchange to the begin project (south of NW 36th Street).

See Figure 2 for the existing SR 826 typical section in the vicinity of NW 103rd Street.

Frontage Road Typical Sections

Under existing conditions, there is a frontage road system on both sides of SR 826. The frontage road system generally consists of a two-lane undivided typical section with flush shoulders and some segments with one-way undivided or two-way divided typical sections with curb and gutter. The Design Speed varies from 30 mph to 40 mph. The Posted Speed varies from 20 mph to 35 mph.

Within the project limits there are two (2) frontage road systems:

- FPID 441830-1-52-01 – from US 27 to NW 103rd Street within the cities of Hialeah and Hialeah Gardens:
 - Section 87260151 (MP 0.000-0.720), W 20th Avenue from US 27 to W 44th Place.
 - Section 87260152 (MP 0.011-0.715), NW 77th Avenue from south of NW 95th Street to NW 103rd Street.
- FPID 441831-1-52-01 – from NW 103rd Street to NW 122nd Street within the City of Hialeah:
- Section 87260298 (MP 0.000-1.391), W 20th Avenue East from NW 103rd Street/W 49th Street to NW 122nd Street/W 68th Street, including W 67th Place from west of W 18th Avenue to W 17th Court.
- Section 87260506 (MP 0.000-0.173), NW 77th Court from NW 103rd Street to south of Little River Canal (C-7).
- Section 87260521 (MP 0.173-1.342), NW 77th Avenue from south of Little River Canal (C-7) to Little River Canal (C-7), W 20th Avenue West from Little River Canal (C-7) to NW 122nd Street/W 68th Street, including W 67th Place from west of W 21st Court.

Table 2 depicts the existing typical section characteristics for the frontage road systems within the project corridor

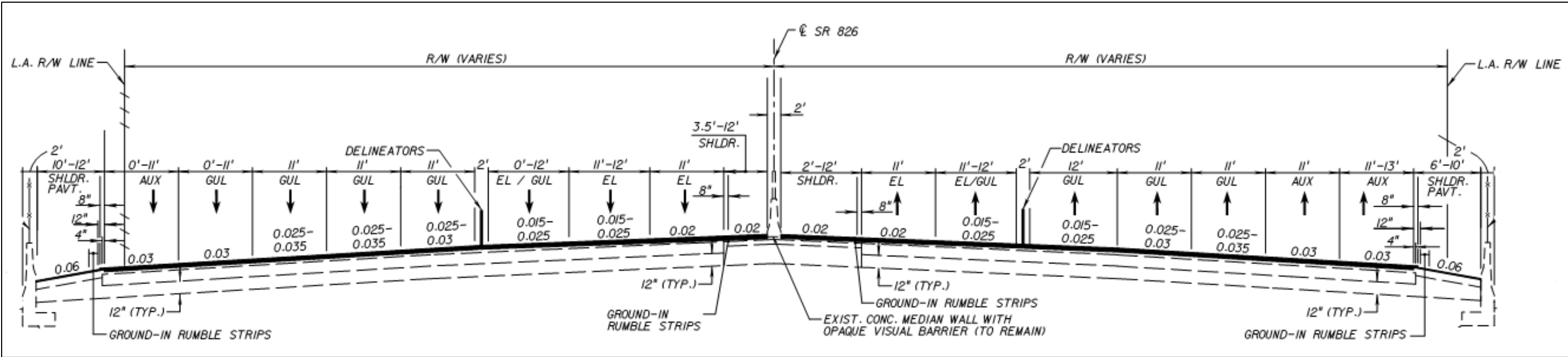


Figure 2: Existing SR 826 Typical Section

Table 2: Existing SR Frontage Road Typical Section Characteristics

Typical Section Element	From US 27 to NW 103rd Street (FPID 441830-1-52-01)	From NW 103rd Street to NW 122nd Street (FPID 441831-1-52-01)
Number of Travel Lanes	2	2
Travel Lane Width	Varies 11-12 ft	Varies 11-12 ft
Curb and Gutter	Type F (certain locations)	Type F (certain locations)
Shoulders Width	Varies 0-5 ft paved, 2-6 ft total	Varies 0-5 ft paved, 2-6 ft total
Median Width	n/a	n/a
Sidewalk Width	Varies 5-6ft on East Frontage Road/W 20th Avenue only	Varies 5-6 ft
ROW Width	50 ft	46.4ft-108.9ft

Frontage Roads from US 27 to NW 103rd Street (FM No. 441830-1)

Six existing roadway typical sections are identified within the limits of the frontage road system from US 27 to NW 103rd Street. See Figure 3 and Figure 4 for the frontage road typical sections.

Existing Roadway Typical Section 1 (Section 87260151), SR 826 East Frontage Road/W 20th Avenue from US 27 to south of W 39th Street, consists of a two-lane undivided section, with flush unpaved shoulders, and a sidewalk along the right side of the roadway for most of the limits.

Existing Roadway Typical Section 2 (Section 87260151), SR 826 East Frontage Road/W 20th Avenue from south of W 39th Street to W 41st Street, consists of a two-lane undivided section, with flush paved shoulders and a concrete barrier wall on the left side of the roadway adjacent to SR 826 northbound, flush unpaved shoulder and a sidewalk along the right side of the roadway.

Existing Roadway Typical Section 3 (Section 87260151), SR 826 East Frontage Road/W 20th Avenue from W 41st Street to W 44th Place, consists of a two-lane undivided section, with flush unpaved shoulders and landscaping on both sides, and a sidewalk along the right side of the roadway. The east frontage road system ends prior to NW 103rd Street.

Existing Roadway Typical Section 4 (Section 87260152), SR 826 West Frontage Road/NW 77th Avenue from the begin project to south of the Walmart Driveway, and from north of NW 95th Street to NW 98th Street, consists of a two-lane undivided section, with flush unpaved shoulders along both sides of the roadway and a concrete barrier wall on the right side of the roadway adjacent to SR 826 southbound.

Existing Roadway Typical Section 5 (Section 87260152), SR 826 West Frontage Road/NW 77th Avenue from south of the Walmart Driveway to north of NW 95th Street, consists of a two-lane undivided section, with flush paved shoulder and a concrete barrier wall on the right side of the roadway adjacent to SR 826 southbound, and flush unpaved shoulder along the left side of the roadway.

Existing Roadway Typical Section 6 (Section 87260152), SR 826 West Frontage Road/NW 77th Avenue from NW 98th Street to NW 103rd Street, consists of a two-lane undivided one-way section with traffic in the southbound direction, with an existing drop curb and trench drain on the left side of the roadway, and a flush paved shoulder along the right side of the roadway, next to the Limited Access ROW of SR 826.

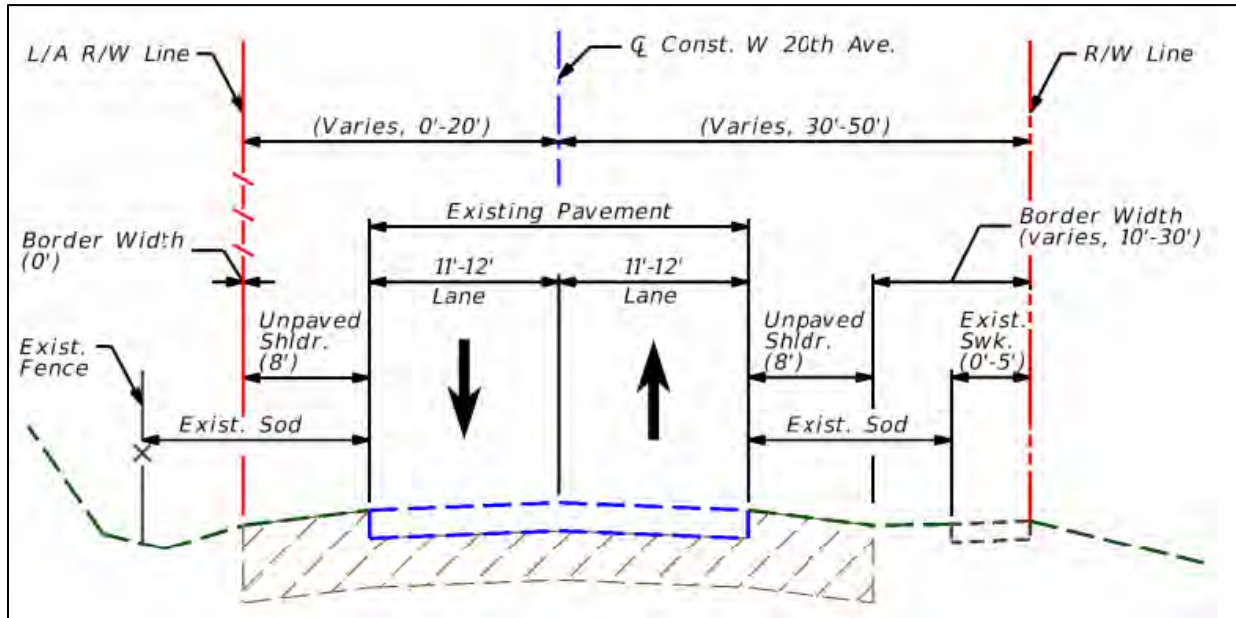


Figure 3: Existing Frontage Road (Undivided) – Typical Section 1 (East Frontage Road/W 20th Avenue)

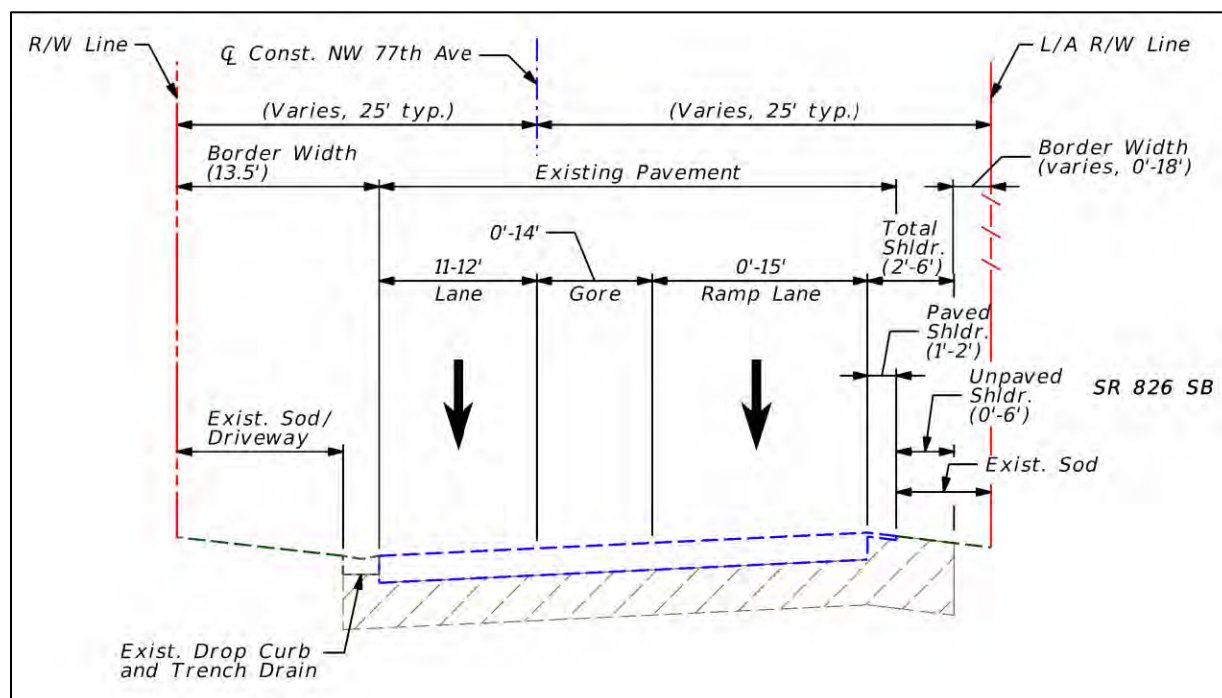


Figure 4: Existing Frontage Road (One-Way) – Typical Section 6 (West Frontage Road/NW 77th Avenue)

Frontage Roads from NW 103rd Street to NW 122nd Street (FM No. 441831-1)

Seven (7) existing roadway typical sections and two (2) existing bridge typical sections are identified within the limits of the frontage road system from NW 103rd Street to NW 122nd Street. See Figure 5 for the frontage road typical section.

Existing Roadway Typical Section 7 (Section 87260298), SR 826 East Frontage Road/W 20th Avenue East from NW 103rd Street to south of the Little River Canal (C-7), consists of a two-lane undivided one-way section with traffic in the northbound direction; with a flush shoulder on the left side; and curb and gutter, grass strip, and sidewalk along the right side.

Existing Roadway Typical Section 8 (Section 87260298), SR 826 East Frontage Road/W 20th Avenue East from south of the Little River Canal (C-7) to south of W 60th Street and from north of W 60th Street to north of W 64th Street, consists of a two-lane undivided section, with flush unpaved shoulders on both sides, and a sidewalk along the right side for most of the limits.

Existing Bridge Typical Section 1 (Bridge 870570), SR 826 East Frontage Road/W 20th Avenue East over the Little River Canal (C-7), consists of a two-lane undivided section with flush shoulders and post and beam railings on both sides; the right shoulder connects to sidewalks on the bridge approaches.

Existing Roadway Typical Section 9 (Section 87260298), SR 826 East Frontage Road/W 20th Avenue East from south of W 60th Street to north of W 60th Street, consists of a two-lane

undivided section with a left-turn lane, with curb and gutter on both sides, and a sidewalk along the right side.

Existing Roadway Typical Section 10 (Section 87260298), SR 826 East Frontage Road/W 67th Place from north of W 64th Street to NW 122nd Street/W 68th Street, consists of a two-lane divided section with auxiliary lanes in both directions, a raised median, curb and gutter along both sides, and a sidewalk along the right side.

Existing Roadway Typical Section 11 (Section 87260506), SR 826 West Frontage Road/NW 77th Court from north of NW 103rd Street to south of the Little River Canal (C-7), consists of a two-lane undivided section, curb and gutter along both sides, and a sidewalk along the left side.

Existing Roadway Typical Section 12 (Section 87260521), SR 826 West Frontage Road/W 20th Avenue West from south of the Little River Canal (C-7) to south of W 60th Street and from north of W 60th Street to NW 122nd Street/W 68th Street, consists of a two-lane undivided section, with flush unpaved shoulders along both sides, guardrail along the right side at the Peter's Pike Canal, and a sidewalk along the left side for most of the limits.

Existing Bridge Typical Section 2 (Bridge 870569), SR 826 West Frontage Road/W 20th Avenue West over the Little River Canal (C-7), consists of a two-lane undivided section with wide curb and post and beam railings on both sides.

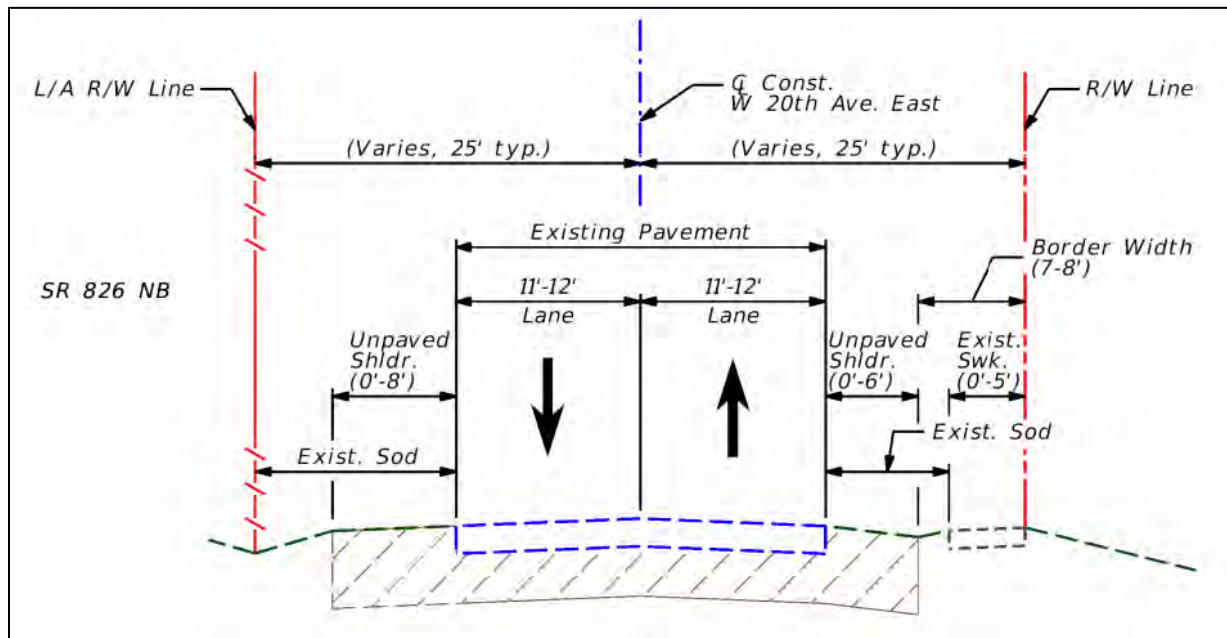


Figure 5: Existing Frontage Road (Undivided) – Typical Section 8 (East Frontage Road/W 20th Avenue East)

Existing Roadway Typical Section 13 (Section 87260152), SR 826 West Frontage Road/W 20th Avenue West from south of W 60th Street to north of W 60th Street, consists of a two-lane undivided section with a left-turn lane, with curb and gutter and sidewalk along the left side, and paved shoulder and shoulder barrier along the right side at the Peter's Pike Canal.

Right-of-Way (ROW)

Existing ROW along the SR 826 corridor ranges from approximately 235 feet to 455 feet or more in width near the existing interchanges. The existing ROW along the frontage road systems is typically 50 feet. with a minimum of 46.4 feet on the East Frontage Road/W 20th Avenue at W 64th Street and maximum of 108.9 feet on the West Frontage Road/NW 77th Avenue at NW 122nd Street.

Pavement Type and Operational Conditions

FDOT performs the annual Pavement Condition Survey (PCS) of the entire SHS to support of the FDOT's Resurfacing Program. The PCS ratings for Crack, Ride, and Rut assess the condition and performance of the pavement as well as to predict future rehabilitation needs. The existing pavement in this segment of SR 826 is in good condition, because the pavement was resurfaced in 2019 by project FPID 432687-1-52-01. The PCS 2020 ratings for the SR 826 mainline (section 8726000 MP 8.355-17.950) are Crack Rating 10, Ride Rating 8.2-8.5, and Rut Rating 10.

The frontage road segments are not included in the annual PCS ratings conducted by the State Materials Office. In 2017, District 6 conducted a pavement evaluation along the frontage road segments, indicting the existing pavement along the frontage roads is in poor condition and warrants resurfacing.

Project Alternatives

Alternatives evaluated during the PD&E Study include the No-Build Alternative and the Build Alternative as described below. Alternatives were developed and evaluated based on the ability to meet the project purpose and need.

No-Build Alternative

The No-Build Alternative assumes that no improvements would be implemented within the project corridor. It serves as a baseline for comparison against the Build Alternative. It will, however, include on-going construction projects and all funded or programmed improvements scheduled to be opened to traffic in the analysis years being considered. These improvements must be part of the FDOT's adopted Five-Year Work Program, Miami-Dade County Metropolitan Planning Organization (MPO), Long Range Transportation Plan (LRTP), transportation elements of Local Government Comprehensive Plans (LGCP), or developer-funded transportation improvements specified in approved development orders. This alternative is considered to be a viable alternative to serve as a comparison to the study's proposed Build Alternative.

The advantage of the No-Build Alternative is that it requires no expenditure of public funds for design, right-of-way acquisition, construction or utility relocation. In addition, there would be no disruptions due to construction from the project and no direct or indirect impacts to the environment and/or the socio-economic characteristics of the project area. However, the No-Build Alternative does not address the purpose and need of the project and operational and safety conditions within the project area will become progressively worse as traffic volumes continue to increase.

Build Alternative

SR 826

Within the project limits, northbound SR 826 improvements are limited to within the NW 103rd Street interchange. The proposed northbound improvements include widening of the mainline at the NW 103rd Street interchange to correct the existing substandard inside and outside shoulder widths; widening along the northbound NW 103rd Street off-ramp; widening of the northbound bridge over NW 103rd Street; and milling and resurfacing of the area.

There are no changes to the typical section along SR 826 northbound other than the provision of wider shoulders within the NW 103rd Street interchange. Similarly, the existing northbound EL system will not be modified by this project.

The proposed southbound SR 826 improvements include widening the SR 826 mainline from NW 74th Street to south of the US 27 interchange and from north of US 27 to north of NW 103rd Street. The EL system will be modified to relocate the EL ingress point from north of the I-75 interchange to NW 103rd Street, completely eliminating the SR 826 EL north of NW 103rd Street (converting it to a GP lane) and providing enhanced access to the EL system to the local community. At the NW 103rd Street interchange, the pier of the NW 103rd Street westbound flyover on-ramp to SR 826 southbound will be modified to accommodate SR 826 southbound mainline widening. In addition, the NW 103rd Street on/off ramps will be widened, pushing out the mechanically stabilized earth (MSE) walls. Four (4) SR 826 mainline bridges are required to be widened over NW 74th Street, Metrorail, FEC Railroad, and NW 103rd Street. The improvements also include performing a comprehensive milling and resurfacing plan throughout the project limits.

The proposed SR 826 southbound typical section will consist of four (4) GP lanes from the end project (north of NW 154th Street) to the I-75 interchange; a single I-75 EL and five (5) GP lanes from the I-75 Interchange to NW 103rd Street interchange; and two (2) EL and four (4) GP lanes from the NW 103rd Street interchange to the begin project (south of NW 36th Street).

See Figures 6 and 7 for the proposed SR 826 typical sections in the vicinity of NW 103rd Street.

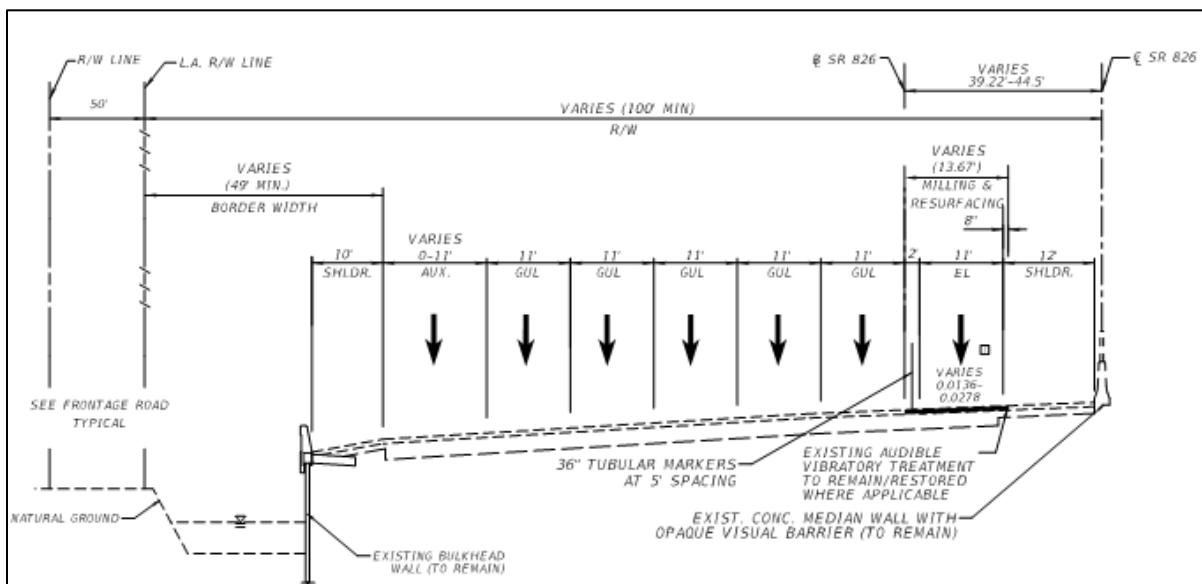


Figure 6: Proposed SR 826 Southbound Typical Section

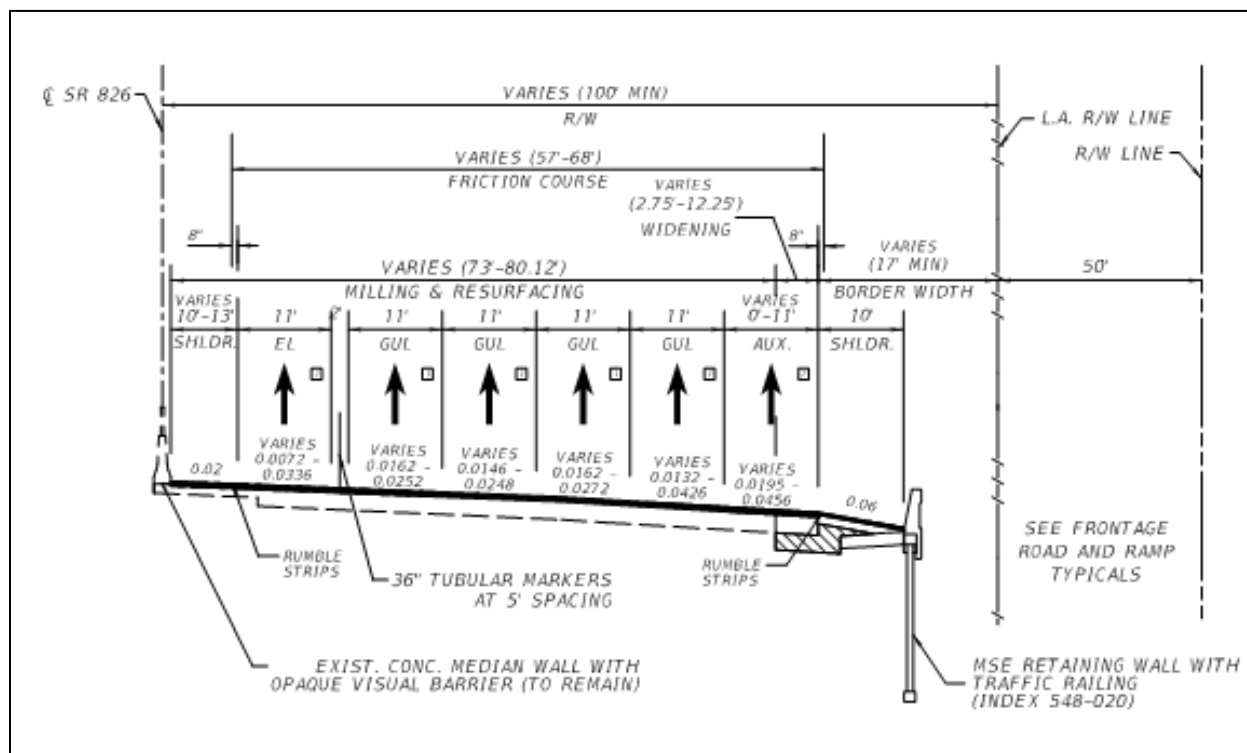


Figure 7: Proposed SR 826 Northbound Typical Section

Frontage Roads

The proposed project will improve the frontage road system on both sides of SR 826 between US 27 and NW 122nd Street to correct deficient pavement conditions; upgrade sub-standard ground-mounted signs and pavement markings; comply with the American with Disabilities Act (ADA); replace existing guardrail; upgrade bridge railings; and construct new paved shoulders to meet criteria and improve overall safety of the corridor. Additionally, the proposed frontage road improvements will upgrade signals and landscaping in the area.

The proposed SR 826 southbound mainline widening and the modification of the pier of the NW 103rd Street westbound flyover on-ramp to SR 826 southbound will require the realignment of the West Frontage Road/NW 77th Avenue. The realignment of this two-way frontage road begins south of the NW 98th Street intersection and ends south of the NW 103rd Street intersection.

The frontage road improvements include milling and resurfacing the existing pavement; adjusting existing storm drain manhole tops, utility manhole tops, and utility valves within the limits of the resurfacing; upgrading sub-standard pedestrian curb ramps and detectable warning surfaces along East Frontage Road/W 20th Avenue to meet ADA criteria; constructing new sidewalk along East Frontage Road/W 20th Avenue to connect the gaps between existing sidewalk segments and to reconstruct damaged or uneven sidewalks; upgrading the guardrail, guardrail terminals, guardrail transition connections to the bridge traffic railings, and guardrail-to-rigid barrier transition connections; constructing 5-foot-wide paved shoulders in segments without existing roadside landscaping or utility impacts; adjusting existing ditch-bottom inlets impacted by the proposed shoulder widening; and constructing additional ditch-bottom inlets where required along the shoulder widening areas.

The project includes upgrading existing signing and pavement markings along the frontage road systems. Proposed signalization improvements will consist of mast arm signal poles and safety measures at the two (2) signalized intersections at NW 103rd Street; as well as the upgrade of the pedestrian signals at the two (2) signalized intersections at W 60th Street. Area landscaping modifications will include tree relocations in areas impacted by the proposed shoulder widening.

See Figures 8 – 10 for proposed frontage road typical sections.

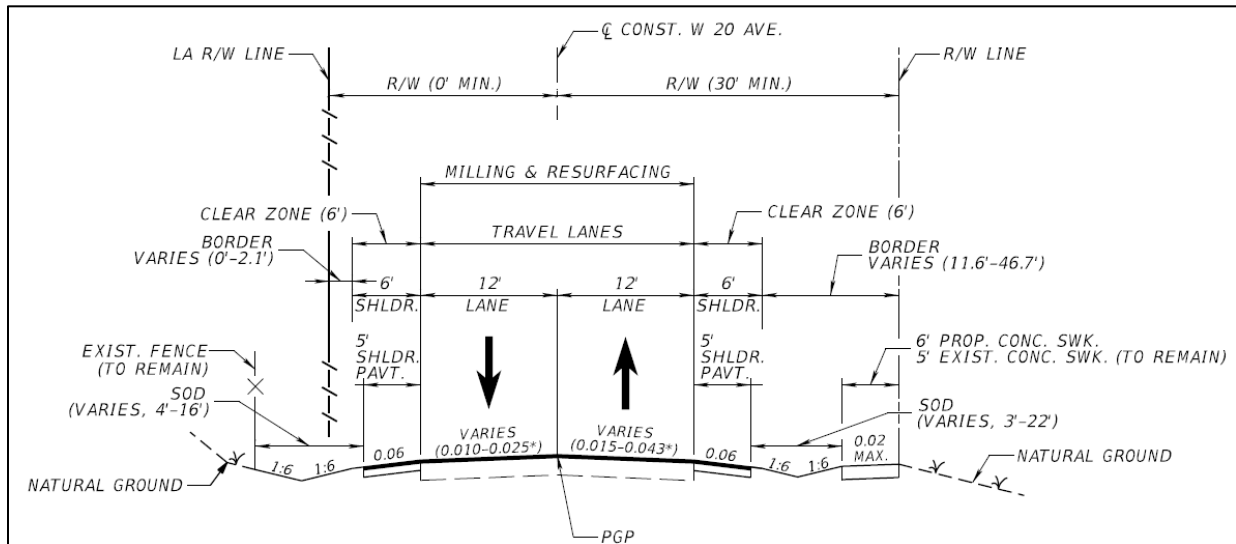


Figure 8: Proposed Frontage Road (Undivided) – Typical Section 1 (East Frontage Road/W 20th Avenue)

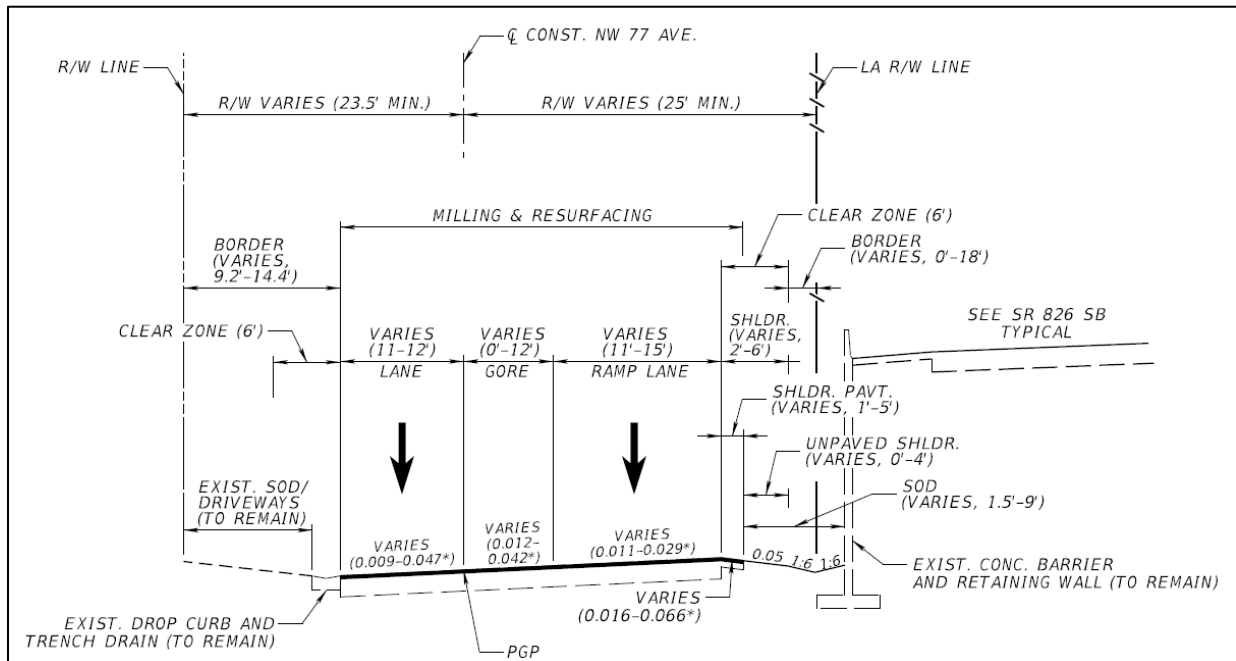


Figure 9: Proposed Frontage Road (One-Way) – Typical Section 6 (West Frontage Road/NW 77th Avenue)

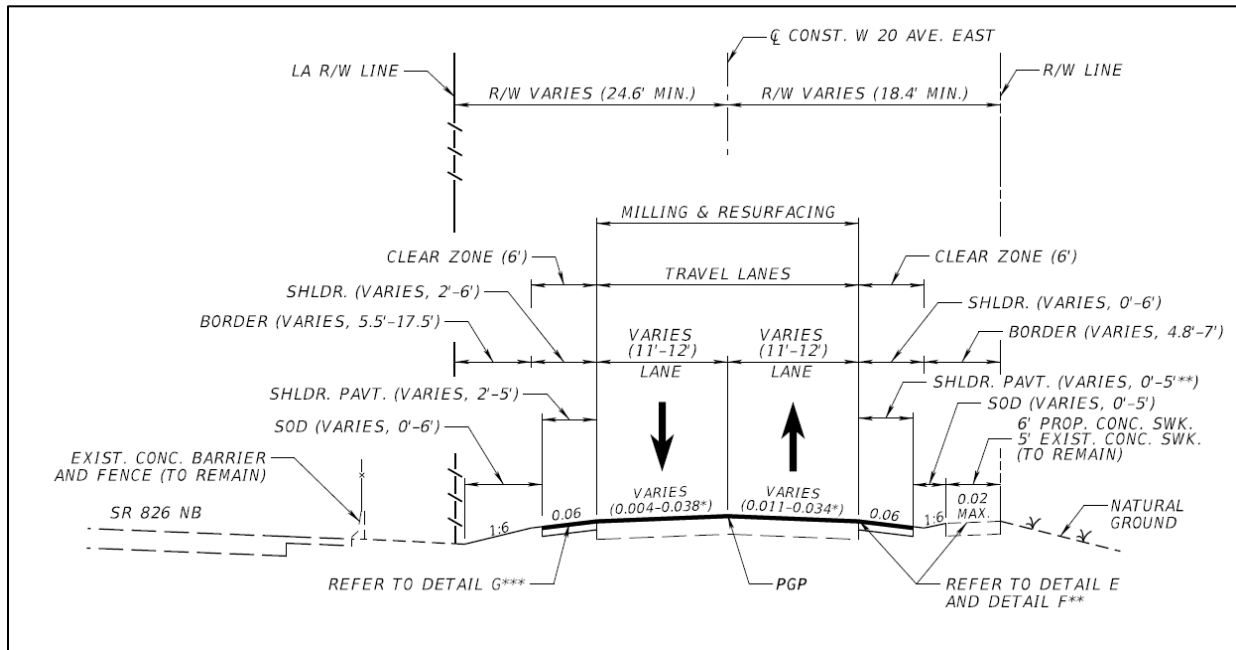


Figure 10: Proposed Frontage Road (Undivided) – Typical Section 8 (East Frontage Road/W 20th Avenue)

Intelligent Transportation System (ITS)

Within the project limits, the Intelligent Transportation System (ITS) will be adjusted to support the earlier mentioned roadway changes. ITS improvements include the installation of a new tolling site along both the northbound and southbound directions that will require a specific pavement design to be implemented 50 feet north and south of the gantry location. The project will also include the installation and replacement of impacted Closed-Circuit Television (CCTV) cameras, Dynamic Message Signs (DMS), Microwave Vehicle Detection Systems (MVDS), and Ramp Signal Systems as necessary.

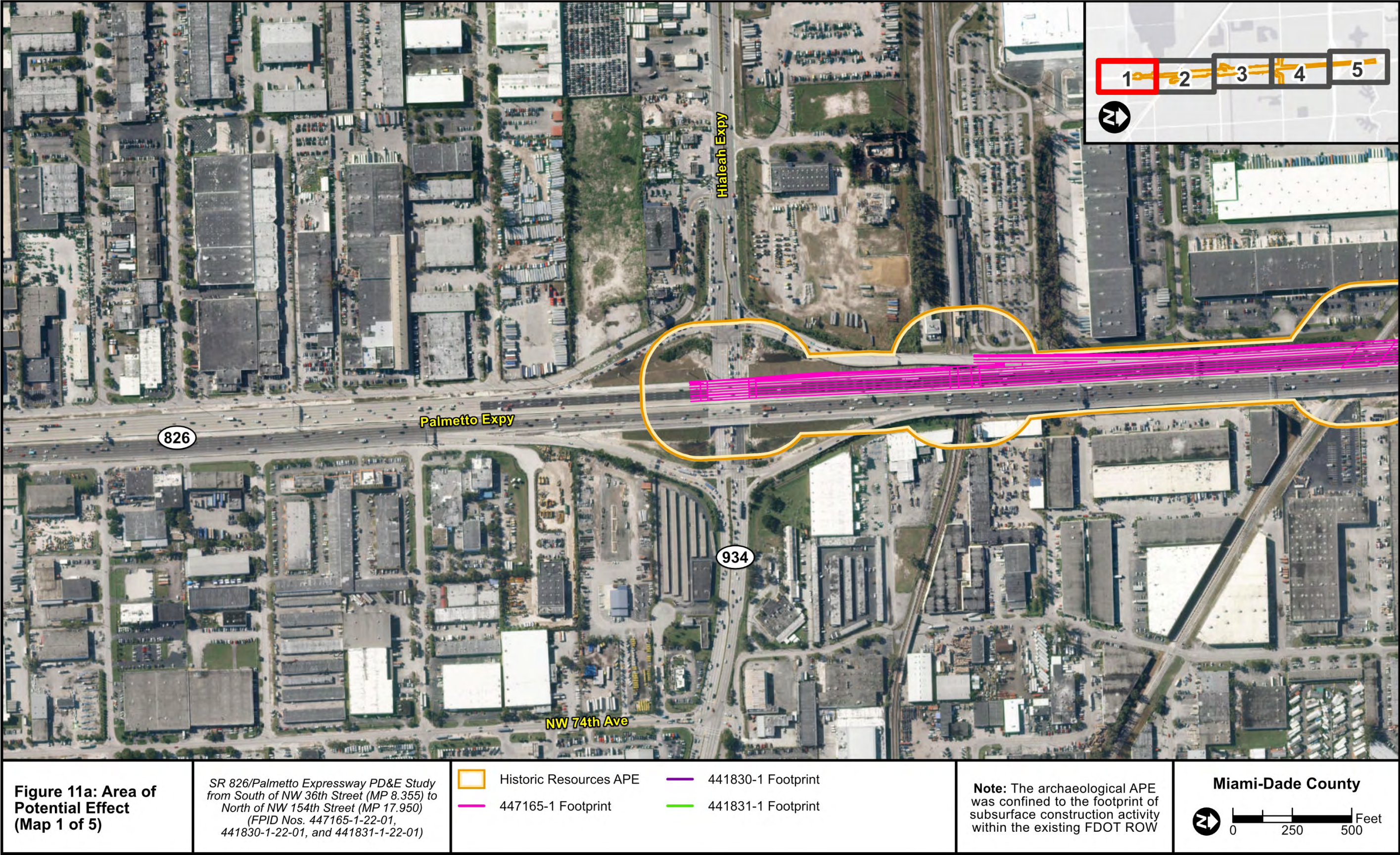
AREA OF POTENTIAL EFFECT

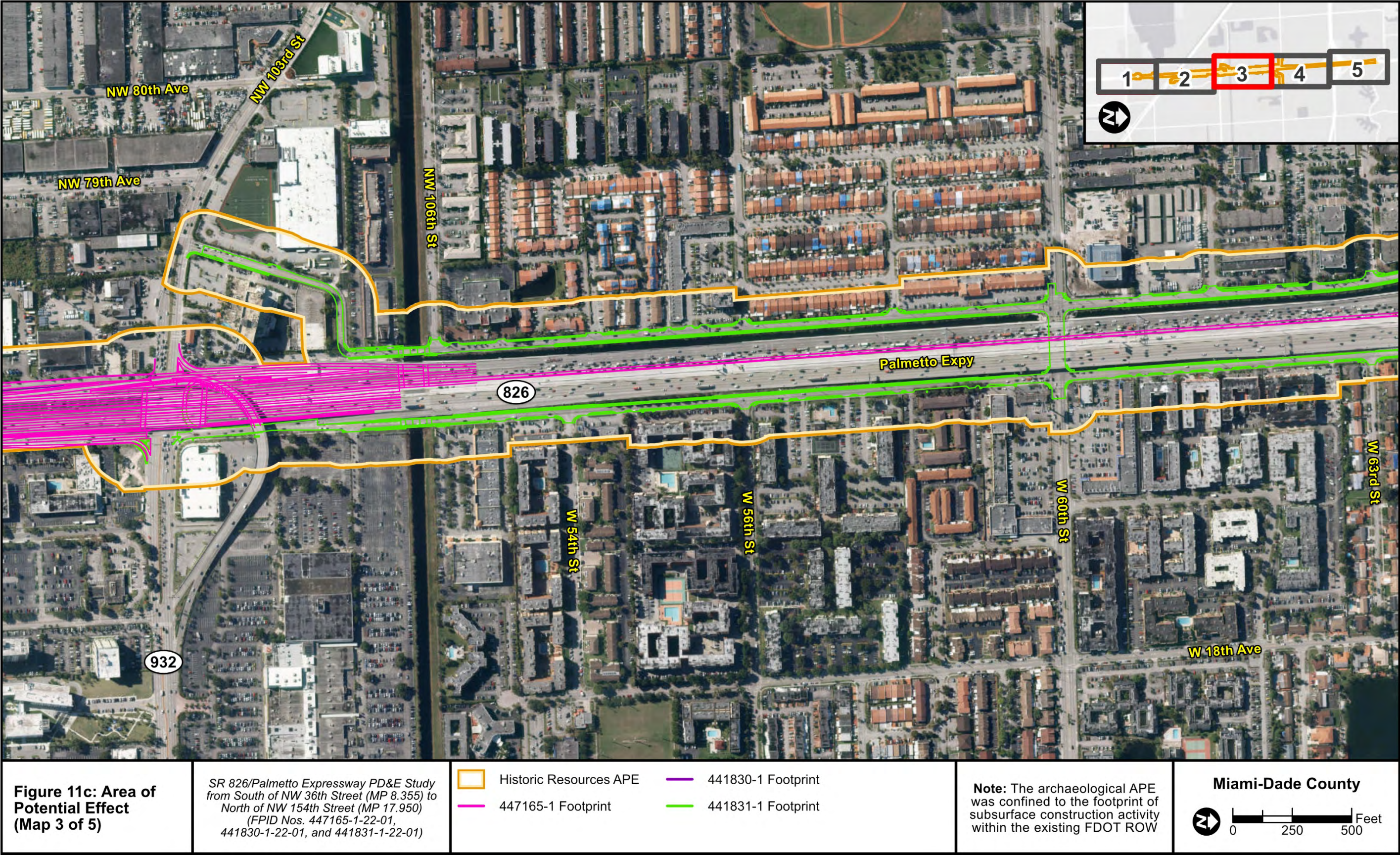
In order to comply with state regulations, a CRAS is conducted to identify all historic and archaeological resources that may be affected by the project improvements. An APE must be established in order to determine the physical area in which cultural resources will be identified. For this CRAS, the APE was determined by considering the type of improvements being proposed and the potential effects these improvements could have on cultural resources. The APE determination also considered the character of the project corridor. The current project APE was developed in consideration of previous studies that are related to the current project. The current project APE covers the build alternative.

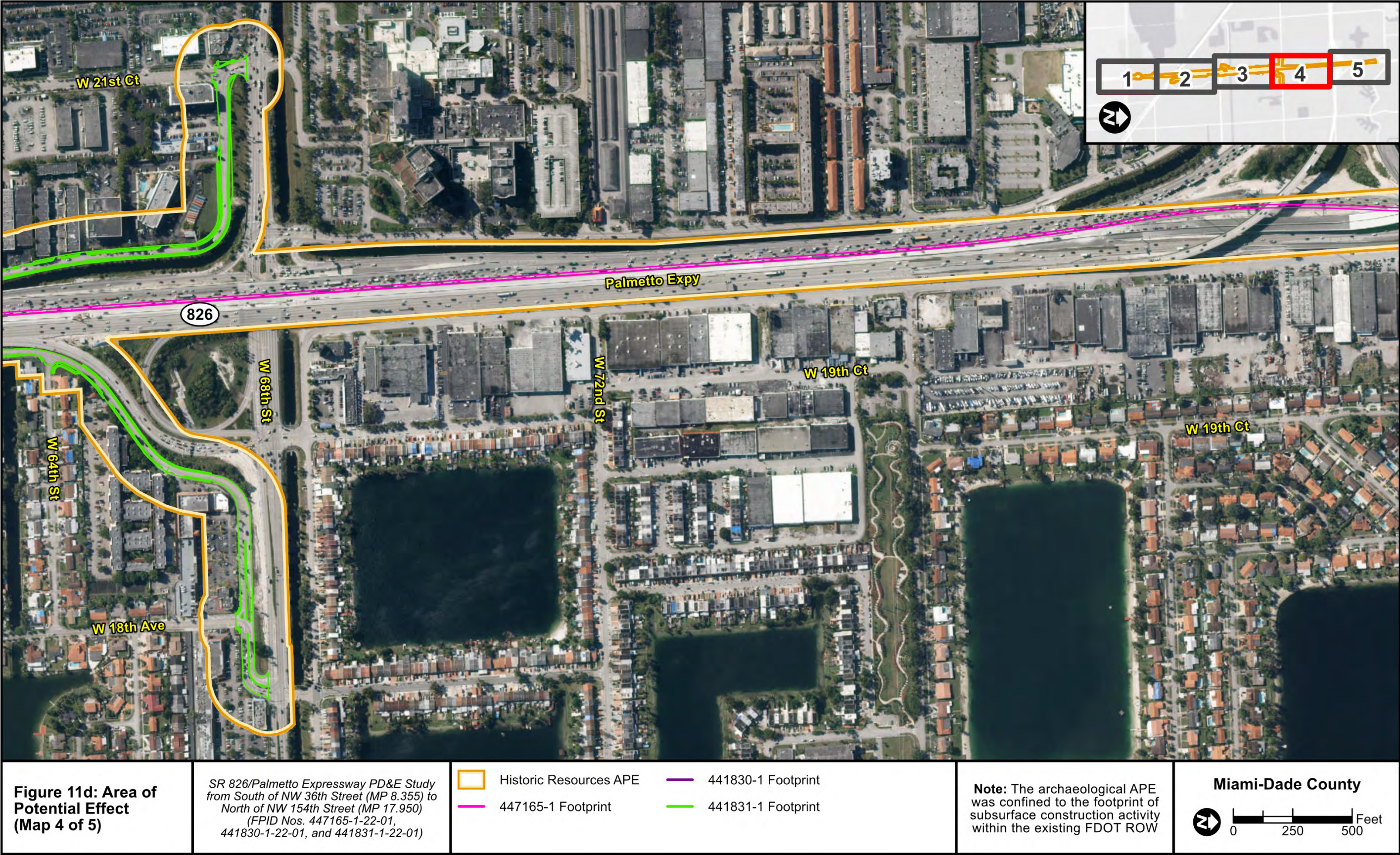
The archaeological APE focuses upon identifying and evaluating resources within the geographic limits of the proposed action and its associated ground disturbing activities. Therefore, the archaeological APE was confined to the footprint of subsurface construction activity within the existing FDOT ROW (Figures 11a–11e).

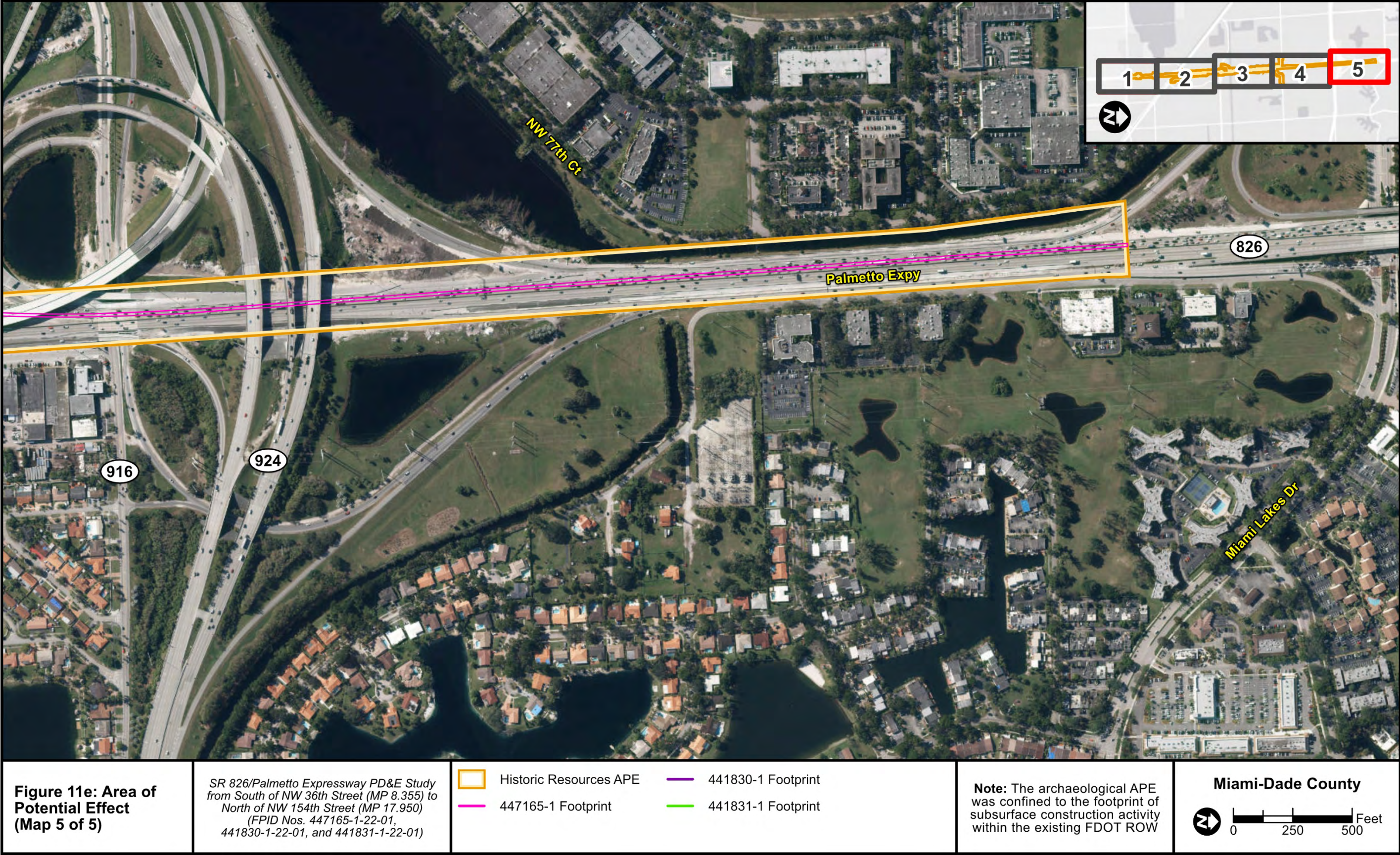
The current APE for historic resources includes parcels directly adjacent to the edge of the proposed project improvements for a distance of up to 150 feet from at-grade improvements along the frontage roads and up to 250 feet from proposed bridge widening. Where improvements were limited to restriping the existing expressway, the APE was limited to the existing road ROW. All improvements are proposed within the existing road and limited access (L/A) ROW, and no ROW acquisition is anticipated for this project. Figures 11a–11e show the historic APE for this project on aerial maps. Also included on these maps is the project improvements footprint.

During the preparation of this report, minor improvements related to signage and ITS were added to the scope of work. These improvements were limited to the existing road ROW, but a small amount of the proposed work (ITS installation and removals of existing signs) extended outside of the project limits and the APEs considered in the overall CRAS report. The archaeological APE for the signage and ITS improvements was limited to the footprint of ground disturbing activities, and the historic resources APE for the signage and ITS improvements was limited to the footprint of the improvements. Appendix B contains the evaluation of the APEs for these improvements.









FLORIDA MASTER SITE FILE SEARCH AND LITERATURE REVIEW

A comprehensive FMSF search and literature review was performed to determine the locations of previously recorded cultural resources. In addition, Geographic Information Systems (GIS) data, local property appraiser's data, information from the in-house Janus Research library, and historic aerials were consulted during the background research. The search revealed that previous work has been performed in the vicinity and a number of cultural resources exist in and surrounding the APE.

The *Cultural Resource Assessment Survey of the I-75 PD&E Study from SR 826 (Palmetto Expressway) to North of Florida's Turnpike (HEFT), Miami-Dade County, Florida* (Janus Research 2010; FMSF Manuscript No. 17998) was conducted for the PD&E project including the northern half of the current PD&E study area. The background research conducted for this survey identified the Hialeah 1 (Gratigny Midden) site (8DA75), a black dirt midden previously recorded as partially within the NB side of SR 826 in the current project APE. The SHPO has not evaluated the site for National Register eligibility, and the FMSF form indicated that the site had been destroyed. During coordination conducted during this survey, the Miami-Dade County Archaeologist concurred that the site was destroyed. A pedestrian survey identified no remnants of the site, and subsurface testing was not possible due to the presence of buried utilities, pavement, and development. The portion of the archaeological APE in the vicinity of previously recorded archaeological sites (8DA40 and 8DA75), where testing could not be conducted prior to construction, was considered to be moderate to high.

Six of the identified historic resources recorded during the 2010 study are located within the current project APE: 8DA6352, 8DA11420, and 8DA11680-8DA11683. All of the identified historic resources were considered ineligible for listing in the National Register due to their common design, lack of distinguishing engineering or architectural features, and a lack of known historical associations. The SHPO concurred with the determinations and findings contained in this survey on February 15, 2011 and requested that an archaeological sensitivity area be defined and identified on pertinent construction plan sheets for the project.

The *Cultural Resource Assessment Survey of SR 924 (Gratigny Parkway) West Extension PD&E Study, Miami-Dade County, Florida* (Janus Research 2012b; FMSF Manuscript No. 19090) contained a portion of the current project limits at the interchange of SR 826 and SR 924/Gratigny Parkway. Two of the historic resources identified during this study are located within the current project APE: the National Register-eligible Miami Canal (8DA6525) and the National Register-ineligible Graham Dairy Canal (8DA11420). The Miami Canal (8DA6525) was still considered National Register-eligible while the Graham Dairy Canal (8DA11420) was considered ineligible for listing in the National Register. The SHPO concurred with the results of this survey on June 7, 2012.

The *Cultural Resource Assessment Survey of the SR 826/Palmetto Expressway Managed Lanes PD&E Study* (Janus Research 2012a; FMSF Manuscript No. 19276) was conducted for the PD&E project including the southern half of the current PD&E study area. A pedestrian survey identified no archaeological resources, and subsurface testing was not possible due to the presence of buried

utilities, pavement, and fill. Because testing was not feasible at the location of 8DA40, FDOT made a commitment that monitoring of subsurface impacts would be conducted by a professional archaeologist at the location of the site. SHPO concurred with this commitment. The remainder of the archaeological APE in the current project limits was evaluated as having low archaeological site potential.

Nine of the historic resources identified during the *Cultural Resource Assessment Survey of the SR 826/Palmetto Expressway Managed Lanes PD&E Study* (Janus Research 2012a; FMSF Manuscript No. 19276) are located in the current project APE: 8DA6352, 8DA6525, 8DA10107, 8DA12380-8DA12383, 8DA12389, and 8DA12390. While portions of both the Miami Canal (8DA6525) and the FEC Railway (8DA10107) had previously been determined National Register-eligible by SHPO, the segments within the APE were considered National Register-eligible for the first time. The remaining resources in the current project APE identified during the study were considered National Register-ineligible. The SHPO concurred with these determinations on August 3, 2012 with one exception: the office determined there was insufficient information to evaluate 8DA12383.

The *Cultural Resource Assessment Survey of SR 826/Palmetto Expressway from I-75 to Golden Glades Interchange (GGI), Miami-Dade County, Florida* (Janus Research 2014; FMSF Manuscript No. 21076) contained a portion of the current project limits from the SR 826 interchange with I-75 to the northern project limit. A segment of one historic linear resource, the SR 826 Canal (8DA11681), located outside of the current project APE was identified during this study and considered National Register-ineligible. The SHPO concurred with the results of this survey on July 30, 2014.

The *Cultural Resource Assessment Survey Reevaluation for the SR 826 (Palmetto Expressway) from Flagler Street to NW 154th Street and SR 93/I-75 from SR 826 to NW 170th Street, Miami-Dade County, Florida* (Janus Research 2016; FMSF Manuscript No. 23335) encompassed most of the current project APE. The archaeological APE was determined to exhibit low archaeological site potential. One resource located within the current project APE, the SR 826 Canal (8DA11681), was previously determined National Register-ineligible. The SHPO concurred with the findings of this report on November 2, 2016.

The *Cultural Resource Assessment Survey of US 27/SR 25/Okeechobee Road and SR 826/Palmetto Expressway Interchange PD&E Study in Miami-Dade County* (Janus Research 2017; FMSF Manuscript No. 24327) contained a portion of the current project limits. Two historic resources, 8DA6525 and 8DA15160, were identified within the current project APE which was determined to exhibit low archaeological site potential. The Miami Canal (8DA6525) was still considered National Register-eligible while 8DA15160 was considered ineligible for listing in the National Register. The SHPO concurred with the results of this survey on September 25, 2017.

The *Cultural Resource Assessment Survey Update of SR 25/Okeechobee Road from SR 997/Krome Avenue to NW 79th Avenue, Miami-Dade County* (SEARCH 2018; FMSF Manuscript No. 25570) contained a portion of the current project limits. One previously recorded resource, the National

Register-eligible Miami Canal (8DA6525) was identified within the current project APE. The SHPO concurred with the results of this survey on October 22, 2018.

Table 3 lists the 59 previous cultural resources surveys that were conducted within one mile of the project APE. The 26 surveys that encompass or intersect with the current project APE are highlighted in gray. Many of these surveys were limited-scope studies conducted for telecommunications towers, several were early county-wide surveys from the 1980s, and many others overlap only very slightly with the current project APE. These surveys did not comprehensively survey any portion of the current project APE.

In addition to the surveys currently available in the FMSF, two CRAS updates, *Palmetto Express Lanes Modification – Interim Solution: Cultural Resource Assessment Survey Update to SR 826/Palmetto Expressway Project Development and Environment (PD&E) Study from South of SR 836 to North of SR 93/I-75 (FPID No. 418423-3-22-01), Miami-Dade County, Florida* (Janus Research 2020a) and *Palmetto Express Lanes Modification – Interim Solution: Cultural Resource Assessment Survey Update to SR 93/I-75 Project Development and Environment (PD&E) Study from State Road (SR) 826/Palmetto Expressway to North of Florida’s Turnpike (FPID No. 420669-1-22-01), Miami-Dade County, Florida* (Janus Research 2020b) were prepared to coordinate an interim solution for the NB lanes. The SHPO concurred with the findings of these reports on April 2, 2020 but they are not available in the FMSF and are not included in Table 3.

Table 3: Cultural Resource Surveys Conducted within One Mile of the Historic Resources APE

FMSF Survey No.	Title	Date	Author(s)
283	An Archaeological and Historical Survey of the Site 14 Replacement Airport and its Proposed Access Corridors	1979	Carr, Robert S., John Beriault, Irving Eyster, and Margot Ammidown
320	US 27 Survey	1974	Unknown
340	Dade County Archaeological Survey Interim Report	1980	Carr, Robert S.
602	Dade County Historic Survey, Final Report.	1982	Metropolitan Dade County
1582	Proposed addition of two lanes to the Palmetto expressway, from SR 5/US 1 to NW 25th St, and construction of a new interchange at NW 25th St, Dade County, Florida	1988	Browning, William D. and Melissa G. Weidenfeld
1585	Proposed improvements to W Flagler St, from Palmetto expressway/SR 826 to NW 72nd Ave & to NW 72nd Ave/Milam Dairy Rd, from W Flagler St to NW 74th St, in Dade County, Florida	1988	Browning, William D. and Melissa G. Weidenfeld
2127	Dade County Historic Survey, Phase II: Final Report.	1989	Metropolitan Dade County
4001	Cultural Resource Assessment Survey for 74th Street Metrorail Extension Preferred Alignment, Project Development and Environmental Study	1994	Janus Research

FMSF Survey No.	Title	Date	Author(s)
4096	A Cultural Resource Assessment Survey of State Road 916 (N.W. 138 Street/W. 84th Street) from N.W. 67 Avenue (W. 12th Avenue/Ludlam Road) to N.W. 57 Avenue (W. 4th Avenue/Red Road), Dade County, Florida	1995	Janus Research
4145	Cultural Resources Assessment Survey for Proposed Improvements to State Road 25 (Okeechobee Road/US27) from SR 826 to SR 112 Project Development and Environment Study	1994	Janus Research
4599	A Cultural Resource Assessment Survey for the S.R. 934/Hialeah Expressway from: S.R. 826/Palmetto Expressway to: S.R. 823/NW 57th Avenue/Red Road, Dade County, Florida	1996	Janus Research
6327	A Cultural Resource Assessment Survey of NW 87th Avenue, from NW 58th Street to NW South River Drive, Miami-Dade County	2000	Janus Research
7253	Cultural Resource Evaluation for the Proposed GGNP Tower Location in Miami-Dade County, Florida	2002	Sims, Cynthia L.
7285	An Archaeological and Historical Survey of the Proposed Lucky 88 Tower Location in Miami-Dade County, Florida	2002	Sims, Cynthia L.
7333	An Archaeological and Historical Survey of the Black Diamond Tower Location in Miami-Dade County, Florida	2002	Sims, Cynthia L.
7340	Archaeological and Historical Assessment Survey of the Proposed Wilson Tower Location, 7501 NW 72nd Avenue, Miami, Dade County, Florida	2002	Penders, Thomas E.
7367	An Archaeological and Historical Survey of the Proposed BMS Hialeah Tower Location in Miami-Dade County, Florida	2002	Batategas, Juliet T.
7594	Medley	2000	Miller, Wendy A.
8452	An Archaeological and Historical Survey of the Proposed GHEM Tower Location in Dade County, Florida	2001	Ambrosino, James N.
8476	Universal Pallets/ 6980 Northwest 53rd Terrace, Archaeological and Historical Assessment (2001.65)	2001	Carr, Robert S.
8563	An Archaeological and Historical Survey of the Proposed Doral Park Golf Course Tower Location in Miami-Dade County, Florida	2001	Bajkiewicz, Robin R.
8967	A Cultural Resource Assessment of the GEGS Tower Location in Miami-Dade County, Florida	2003	Harman, Tammy, and Paul L. Jones
9028	Cultural Resource Assessment of the GGEF Tower Location in Miami-Dade County, Florida	2003	Harman, Tammy, and Paul L. Jones
9029	A Cultural Resource Assessment of the GHEG Tower Location in Miami-Dade County, Florida	2003	Ambrosino, Meghan L.
9071	A Cultural Resource Assessment of the GMWP Tower Location in Miami-Dade County, Florida	2003	Ambrosino, Meghan L.

FMSF Survey No.	Title	Date	Author(s)
9933	An Archaeological and Historical Survey of The Proposed MD1201A-Goodlet Park Tower Location in Miami-Dade County, Florida	2004	Archambeault, Marie, and Lisa N. Quinn
10439	An Archaeological and Historical Survey of the Proposed MD1201A Goodlet Park Tower 2 Location in Miami-Dade County, Florida	2004	Driscoll, Kelly A.
10826	Cultural Resource Reconnaissance Survey of the Florida Gas Transmission Company Turkey Point Project	2004	Janus Research
11345	A Cultural Resource Assessment Survey of NW 74th Street From the Homestead Extension of the Florida Turnpike (Heft) to SR 826/Palmetto Expressway and the Heft from NW 41st Street to the Okeechobee Toll Plaza, County: Miami-Dade	2005	Janus Research
15639	Cultural Resource Assessment Survey of SR 916/NW 138th Street from NW 67th Avenue to NW 57th Avenue, Miami-Dade County	2008	Janus Research
16918	Reevaluation of NW 74th Street from SR 826/Palmetto Expressway to NW 114th Avenue in Miami-Dade County, Florida	2009	Janus Research
17015	Reevaluation of 2000 Cultural Resource Assessment Survey of NW 87th Avenue from NW 74th Street to NW 103rd Street in Miami-Dade County, Florida	2009	Janus Research
17981	Cultural Resource Assessment Survey of the 24-inch Miami Expansion Project in Miami-Dade County	2010	Janus Research
17987	Cultural Resource Assessment Survey of the FGT 24-inch Miami Expansion Project in Miami-Dade County: Addendum Report 1	2010	Janus Research
17998	Cultural Resource Assessment Survey of the I-75 Project Development and Environment (PD&E) Study from State Road 826 (Palmetto Expressway) to North of Florida's Turnpike (HEFT), Miami-Dade County	2010	Janus Research
19090	Cultural Resource Assessment Survey of the SR 924 (Gratigny Parkway) West Extension Project Development & Environmental (PD&E) Study from SR 826 (Palmetto Expressway) to SR 821 (Homestead Extension of the Florida's Turnpike)(HEFT)	2011	Janus Research
19276	Final Cultural Resource Assessment Survey, SR 826/Palmettos Expressway Managed Lanes Project Development and Environment (PD&E) Study, FM # 418423-3-22-01, ETDM # 11560	2012	Janus Research
19449	Final: Section 106 Evaluation and Determination of Effects SR 826 / Palmetto Expressway Express Lanes Project Development and Environment (PD&E) Study, Financial Management #: 418423-3-22-01, ETDM #: 11560	2012	Janus Research

FMSF Survey No.	Title	Date	Author(s)
19604	An Archaeological and Historical Survey of the Hialeah PIFDG00LR7.0 Tower in Miami-Dade County, Florida FCC Form 620	2012	Mikell, Greg
19769	Reevaluation of NW 74th Street (Future SR-934) from SR-826 (Palmetto Expressway) to NW 114th Avenue in Miami-Dade County, Florida	2012	Janus Research
21063	Cultural Resource Assessment Survey (CRAS) of the US 27/SR 25/Okeechobee Road Project Development Environment Study (PD&E) from SR 997/Krome Avenue (M.P.0.357) to NW 79th Avenue (M.P. 10.051)	2014	Janus Research
21076	Cultural Resource Assessment Survey for the State Road 826/Palmetto Expressway PD&E Study from I-75 to Golden Glades Interchange, Miami-Dade County, Florida	2014	Janus Research
22815	Cultural Resources Desktop Analysis and Field Review for the NW 87th Avenue/W 28th Avenue Sidewalk/Guardrail Improvement Local Agency Program Project from W 52nd Street to W 80th Street, Miami-Dade County	2016	Janus Research
23335	Cultural Resource Assessment Survey (CRAS) Reevaluation of the SR 826 (Palmetto Expressway) from Flagler Street to NW 254th Street and SR 93/I-75 from SR 826 to NW 170th Street, Miami-Dade County	2016	Janus Research
23742	Proposed 123-Foot Overall Height Pole Structure Within a 10-Foot by 10-Foot Area 9FLX000744/MI90XC157A, NW 72nd Avenue / NW South River Drive, Medley, Miami-Dade County, Florida	2017	Avila, Iris, and Dina M. Bazzill
24135	FCC Form 621 Collocation Submission Packet: FLH0017 / Cingular GGEF Tower Hialeah, Dade County, FL	2014	Cardno Entrix
24307	FCC/EBI Project File No. 6117003371, Proposed New Tower 38.6 - Foot Telecommunications Pole, W 60th Street, Hialeah, Miami-Dade County, Florida	2017	Chait, Amanda, Jennifer Davis, and Christine Leggio
24327	Cultural Resource Assessment Survey for SR 25/Okeechobee Road and SR 826/Palmetto Expressway Interchange Project Development & Environment (PD&E) Study, Miami Dade County (FPID No. 436565-1-22-01)	2017	Janus Research
24349	Cultural Resources Desktop Analysis and Field Review for SR 934/NW 74th Street from SR 826/Palmetto Expressway to SR 25/Okeechobee Road, Miami-Dade County, Florida (FPID No. 436479-1-52-01)	2017	Janus Research
24383	Archaeological Sensitivity Assessment, CRAN MIA003-07, 12, 14, 15 Multiple Locations Near NW 87th Avenue, Hialeah Gardens, Miami-Dade County, Florida 33016.	2017	Ocampo, Gabriel
24390	14073609 / 181631 / CRAN MIA03_008 Proposed New 38.6 Foot Concrete Small Cell Telecommunications Pole W 28th Avenue and 5th Place, Hialeah Gardens, Miami-Dade County Florida EBI Project Number: 6117003373	2017	Johnson, Sarah

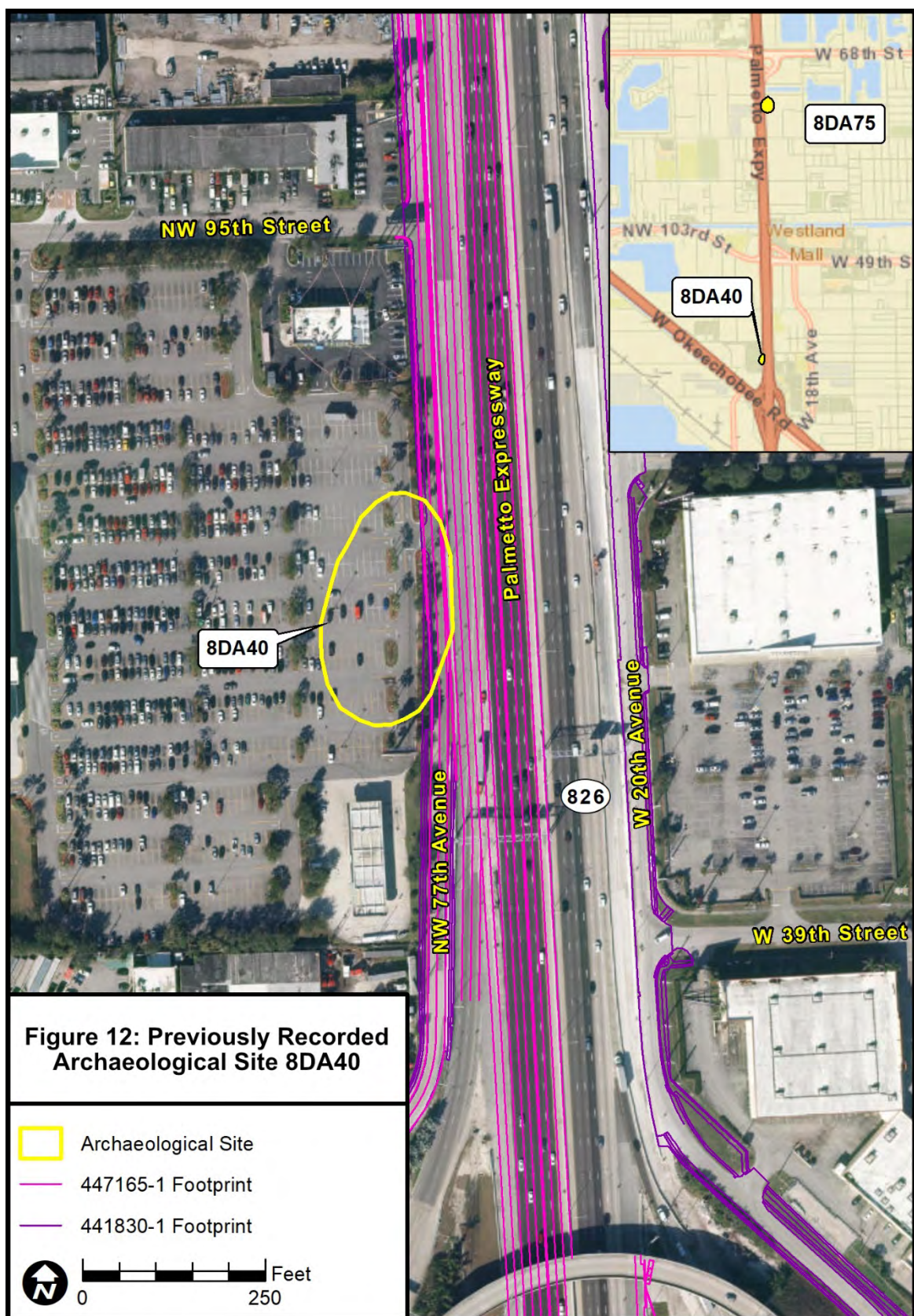
FMSF Survey No.	Title	Date	Author(s)
24391	14073609 / 181625 / CRAN MIA03_002 Proposed New 38.5 Foot Concrete Small Cell Lightpole / Utility Pole W 28th Avenue 112th Street, Hialeah Gardens, Miami-Dade County Florida EBI Project Number: 6117003369	2017	Forrest, Stephen
24395	FCC / TCNS #159799, 14073609 / 181636 / CRAN MIA03_013, Proposed New 38.5 Concrete Small Cell Telecommunications Pole, W 53rd Terrace and 16th Avenue, Hialeah, Miami-Dade County, Florida EBI Project Number: 6117003378	2017	Forrest, Stephen, and Sarah Johnson
24396	FCC / TCNS #159801, 14073609 / 181628 / CRAN MIA03_005, Proposed New 50 Concrete Small Cell Telecommunications Pole, W 60th Street and 16th Avenue, Hialeah, Miami-Dade County, Florida EBI Project Number: 6117003375	2017	Davis, Jennifer, and Tory Harding
24397	FCC / TCNS #159647, 14073609 / 181634 / CRAN MIA03_011, Proposed New 44 Foot Concrete Small Cell Telecommunications Pole, NW 87th Avenue Near 130th Street, Hialeah, Miami-Dade County, Florida EBI Project Number: 6117003370	2017	Gomez, Megan Rick, Sarah Johnson, and Christine Leggio
24432	FCC / 14073609 / 181624 / CRAN MIA03-001, Proposed Concrete Small Cell Antenna Telecommunications Pole, W 28th Avenue, Hialeah Gardens, Miami-Dade County, Florida EBI Project Number: 6117003372	2017	Ihle, Melanie, Sarah Johnson, and Christine Leggio
24436	Archaeological Sensitivity Assessment 14073609 / CRAN MIA03-Poles #9, 18, 19, 21, 24, Six Proposed New 38.5ft Tall Concrete Wireless Telecommunications Poles , Multiple Locations Near NW 107th Avenue, Hialeah, Miami-Dade County, FL EBI Project 6117003793	2017	Chait, Amanda, Sarah Johnson, and Christine Leggio
25570	Technical Memorandum: Cultural Resource Assessment Survey Update of SR 25/Okeechobee Road from SR 997/Krome Avenue to NW 79 th Avenue, Miami-Dade County, Florida	2018	SEARCH
26514	Technical Memorandum: Cultural Resource Assessment Survey Update of State Road 826/Palmetto Expressway from I-75 to Golden Glades Interchange, Miami, Miami-Dade County, Florida	2019	Kerns, Mechelle, and Jason Newton

Previously Recorded Archaeological Resources

A search of the FMSF data identified five archaeological sites within one mile of the project corridor (8DA40, 8DA75, 8DA76, 8DA77, and 8DA92). The FMSF documentation for each of these sites suggests that they have been destroyed. Two of these previously recorded archaeological sites (8DA40 and 8DA75) are within the current project corridor. No Miami-Dade County-designated archaeological sites or zones are located within one mile of the archaeological APE.

An unnamed (NN) site (8DA40; Figure 12) is recorded in the FMSF along the west side of SR 826, approximately 380 feet south of NW 95th Street. Jeff Ransom, the Miami-Dade County Archaeologist provided a potential alternate location for the site along the west side of SR 826 under two houses he identified on historic aerials approximately .33 miles and .39 miles north of US 27 (Janus Research 2012a; FMSF Manuscript No. 19276). John Goggin recorded the site in 1953, when portions of it were still intact. The site was determined to be National Register-eligible by the SHPO in 2012 despite a lack of information regarding the site's integrity. While not officially documented as destroyed in the FMSF, Browning and Wiedenfeld (1988; FMSF Survey No. 1582) described it as possibly destroyed by the construction of SR 826. The site was not evident within the survey area during the 1988 survey, but no shovel testing was conducted at that time. The 2012 CRAS conducted by Janus Research did not identify any part of the site during the pedestrian survey but concluded that portions of the site may be extant under the pavement. No subsurface testing was possible as part of the 2012 survey. A professional archaeologist from the Archaeological and Historical Conservancy, Inc. (AHC) monitored construction activities at the site location on February 5 and 26, 2016. The archaeological monitor noted that the construction activities included the excavation of a ten-foot-wide trench along the eastern edge of NW 77th Avenue to a depth of approximately 3.5 feet and the excavation of an eight-foot-wide, approximately 45-foot-long trench along the western edge of NW 77th Avenue to a depth of one foot. Only disturbed soil with limestone fill was encountered during these excavations. No natural soils or archaeological material were identified by the monitor.

The Hialeah 1 site (8DA75; Figure 13) was first recorded by D.D. Laxson in 1952 as a pre-Columbian midden on a hammock documented as destroyed in 1982 by Robert Carr, who at the time was the Miami-Dade County Archaeologist. The 2010 CRAS conducted by Janus Research determined that testing at the location of the site was not feasible due to the presence of berms, ditches, and underground utilities, but indicated that parts of the site may be intact. A professional archaeologist from the AHC monitored construction activities at the FMSF location of this site on June 22 and 23, 2016. The archaeological monitor noted that the construction activities included the excavation of an eight-foot-by-four-foot (8'x4') hole near the southern limit of the monitoring area to five feet deep, and the excavation of a six-foot-by-three-foot (6'x3') hole near the center of the site's recorded location to a depth of approximately 5.5 feet. Only disturbed soil with limestone fill was encountered during these excavations. No natural soils or archaeological material were identified by the archaeological monitor.





Previously Recorded Historic Resources

A search of the records of the FMSF identified 15 previously recorded historic resources located within the historic resources APE. These include six historic linear resources (8DA6532, 8DA6525, 8DA10107, 8DA11420, 8DA11681, 8DA11683), six historic structures (8DA11680, 8DA12380-8DA12383, and 8DA15160), two historic bridges (8DA12389 and 8DA12390), and one designed historic landscape (8DA11682).

Two of the previously recorded historic resources have been determined National Register-eligible: the Miami Canal (8DA6525) and the FEC Railway (8DA10107). The segments of both the Miami Canal (8DA6525) and the FEC Railway (8DA10107) within the project APE were first recorded in 2012 as part of the *Cultural Resource Assessment Survey of the SR 826/Palmetto Expressway Managed Lanes PD&E Study* (Janus Research 2012a; FMSF Manuscript No. 19276). On August 3, 2012, the SHPO determined that the segments were contributing to the respective National Register-eligible historic linear resources.

Twelve previously recorded historic resources have been determined ineligible for listing in the National Register by the SHPO. Six of these historic resources (8DA6352, 8DA11420, and 8DA11680-8DA11683) were recorded as part of the *Cultural Resource Assessment Survey of the I-75 PD&E Study from SR 826 (Palmetto Expressway) to North of Florida's Turnpike (HEFT), Miami-Dade County, Florida* (Janus Research 2010; FMSF Manuscript No. 17998). All six of the identified historic resources were determined to be National Register-ineligible by the SHPO on February 15, 2011.

Six previously recorded historic resources (8DA12380-8DA12383, 8DA12389, and 8DA12390) were also recorded as part of the *Cultural Resource Assessment Survey of the SR 826/Palmetto Expressway Managed Lanes PD&E Study* (Janus Research 2012a; FMSF Manuscript No. 19276). While all six were considered National Register-ineligible, the SHPO only concurred with five of these evaluations on August 3, 2012. The SHPO determined there was insufficient information to evaluate 8DA12383 at the time, and the FMSF form was updated during the current study. The remaining previously recorded historic resource, 8DA15160, was recorded as part of the *Cultural Resource Assessment Survey of US 27/SR 25/Okeechobee Road and SR 826/Palmetto Expressway Interchange PD&E Study in Miami-Dade County* (Janus Research 2017; FMSF Manuscript No. 24327). 8DA15160 was determined to be National Register-ineligible by the SHPO on September 25, 2017.

All 15 previously recorded historic resources within the historic resources APE are listed in Table 4. The previously recorded historic resources were subject to field review for any updates to their status since they were last recorded. FMSF forms were updated for two previously recorded historic resources: 8DA12382 and 8DA12383. The FMSF form for 8DA12382 was updated to correct the address, which is incorrectly listed in the FMSF but changes to the resource were not observed. The FMSF form for 8DA12383 was updated to correct the incorrectly listed address and an updated evaluation of significance since the SHPO did not provide a determination of eligibility when it was last recorded.

Table 4: Previously Recorded Historic Resources within the Historic Resources APE

FMSF No.	Name/Address	Type/Style	Year Built	SHPO National Register Evaluation*
8DA6352	Little River Canal	Historic Canal Segment	c. 1954	Determined Ineligible for Listing in the National Register
8DA6525	Miami Canal	Historic Canal Segment	c. 1912	Segment Within the APE is Contributing to the National Register-Eligible Resource
8DA10107	FEC Railway	Historic Railroad Segment	c. 1896	Segment Within the APE is Contributing to the National Register-Eligible Resource
8DA11420	Graham Dairy Canal	Historic Canal Segment	c. 1952	Determined Ineligible for Listing in the National Register
8DA11680	Laser Games/10600 NW 77th Avenue	Masonry Vernacular	c. 1959	Determined Ineligible for Listing in the National Register
8DA11681	SR 826 Canal	Historic Canal Segment	c. 1952	Determined Ineligible for Listing in the National Register
8DA11682	Lake Catalina	Designed Historic Landscape	c. 1961	Determined Ineligible for Listing in the National Register
8DA11683	W 68th Street Canal	Historic Canal Segment	c. 1952	Determined Ineligible for Listing in the National Register
8DA12380	Enterprise Rent-a-Car/7500 NW 103rd Street	Masonry Vernacular	c. 1959	Determined Ineligible for Listing in the National Register
8DA12381	Northwest Hialeah Gate Station #3/9980 NW 77th Avenue	Not Applicable	c. 1961	Determined Ineligible for Listing in the National Register
8DA12382	Superior Sheds/9600 NW 77th Avenue	Masonry Vernacular	c. 1957	Determined Ineligible for Listing in the National Register
8DA12383	The Shed Depot/9660 NW 77th Avenue	Frame Vernacular	c. 1957	Insufficient Information
8DA12389	FDOT Bridge #870257	Historic Bridge	c. 1960	Determined Ineligible for Listing in the National Register
8DA12390	FDOT Bridge #870258	Historic Bridge	c. 1960	Determined Ineligible for Listing in the National Register
8DA15160	Chevron Gas Station/3425 W Okeechobee Road	Masonry Vernacular	c. 1965	Determined Ineligible for Listing in the National Register

**As recorded in the FMSF; may require re-evaluation*

Potential Historic Resources

The Miami-Dade County Property Appraiser and GIS information was utilized in order to identify unrecorded parcels within the current historic resources APE with actual year built (AYRB) dates of 1974 or prior. In total, 23 unrecorded parcels with historic AYRB dates were uncovered. Of these identified parcels, 21 parcels included historic structures located within the historic resources APE with AYRB of 1974 or earlier, and several parcels contained multiple structures. In addition

to these 21 parcels, three unrecorded historic bridges were identified within the historic resources APE. A review of aerial photographs from 1951, 1968, 1971, 1973, and 1978 (FDOT 1996-2019) was conducted to examine land use and to identify any additional unrecorded historic resources located within the historic resources APE. No additional historic buildings, bridges, cemeteries, railroads, canals, or potentially unrecorded historic linear resources or resource groups were identified within the historic resources APE as a result of the aerial analysis.

The historic resources APE intersects portions of Doral, Medley, Hialeah Gardens, Hialeah, and Miami Lakes in north-central Miami-Dade County. This region of Miami-Dade County was not developed on a large scale until the 1960s. Medley, located at the south end of the project APE, was incorporated in 1949 and is advertised on the city website as “primarily an industrial community” (Town of Medley n.d.). Hialeah Gardens was incorporated in 1948 and is located north of Medley. Hialeah Gardens also features several industrial areas with warehouses and manufacturing plants (Miami-Dade Metropolitan Planning Organization n.d.). Hialeah, founded in 1925 north of Hialeah Gardens, was subject to rapid development and population growth since 1960 making it one of the largest ten cities in the state (City of Hialeah n.d.). Miami Lakes, located at the north end of the project APE, was not incorporated as a city until 2000 but a master plan was designed and used beginning in the 1960s which laid out residential areas, lakes, commercial districts, and street patterns (Miami Lakes n.d.).

The 1951 historic aerial photograph depicts a largely rural area surrounding the historic resources APE, with signs of development, including street grid pattern and structures, focused southwest of the project APE (Figure 14). The Miami International Airport, constructed in 1949, is located out of frame and was constructed near hubs of the FEC Railway (8DA10107) and Seaboard Air Line (CSX) Railroad (8DA10753). The rail lines were critical to the development of Miami, and Florida on a larger scale, and were used for passenger travel as well as industrial and manufacturing shipments with some spur lines crossing the future route of SR 826. By 1968, rapid development can be observed near the historic resources APE, most notably east of the project area (Figure 15). In 1961, SR 826 was constructed, and connected I-95 in eastern Miami-Dade County to western and southern portions of the county which had remained largely undeveloped. Several of the residential developments of Hialeah and Miami Lakes can be observed at the north end of the APE. The southern end of the APE intersects Medley and Hialeah Gardens, with the development of industrial and warehouse complexes on both sides of SR 826.

As seen in the 1973 aerial photograph, the communities of Medley, Hialeah Gardens, Hialeah, and Miami Lakes continued to expand with residential and commercial development on the east side of SR 826 (Figure 16). New access ramps to SR 826 were also under construction, indicating the increased vehicular traffic in the vicinity. Construction, including the creation of ponds and borrow pits, on the west side of SR 826 can be observed. This increased development continued during the 1970s, as seen in a 1978 aerial photograph (Figure 17). The cities of Medley and Hialeah Gardens at the south end of the project APE were subject to new construction on the west side of SR 826, while Hialeah and Miami Lakes continued to densely develop as seen on the east side of SR 826 at the north end of the historic resources APE. This residential, commercial, and industrial development continued in the following decades coinciding with a growing population in Miami-Dade County and the dense development of available land.

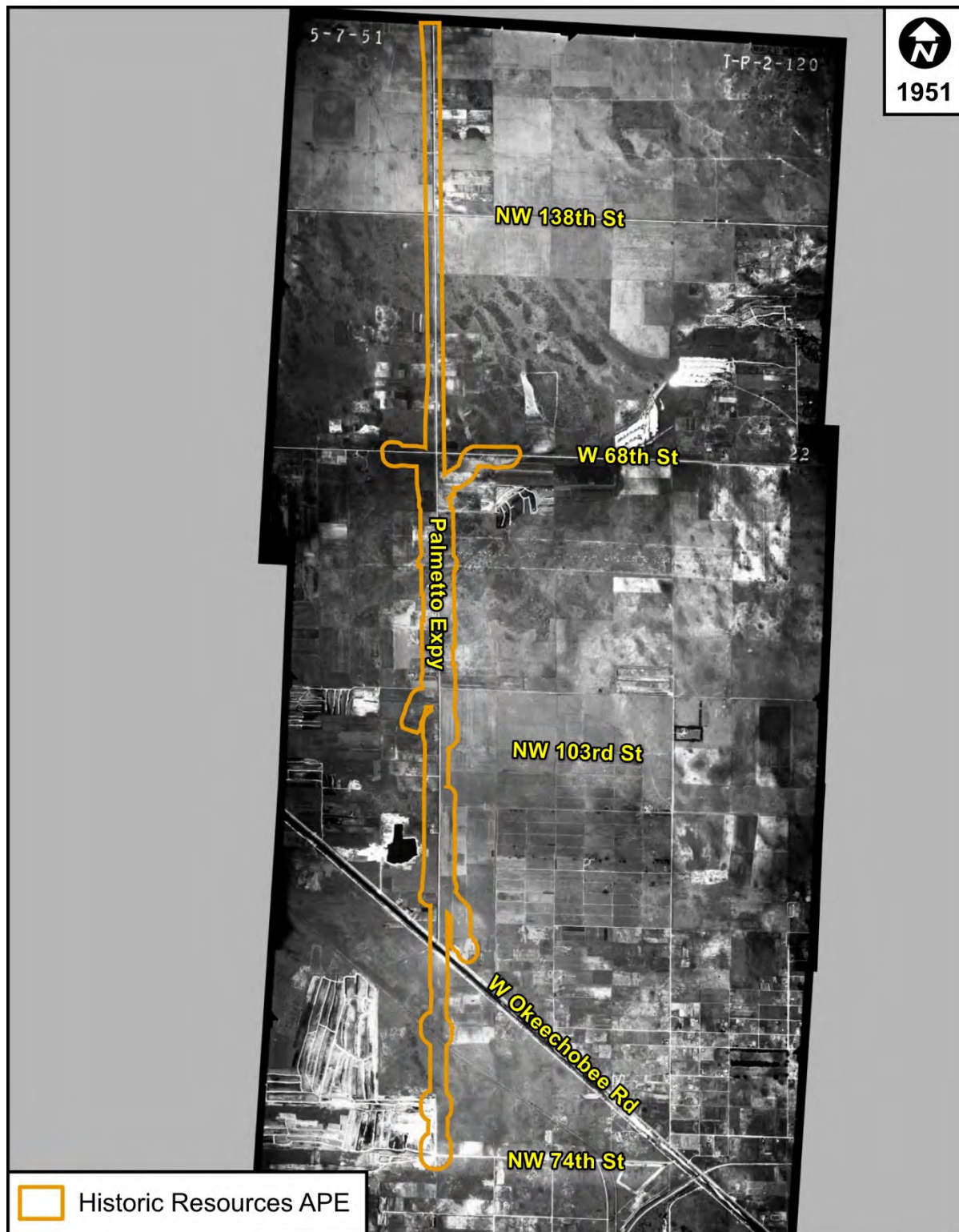


Figure 14: A 1951 historic aerial photograph of the project APE



Figure 15: A 1968 historic aerial photograph of the project APE

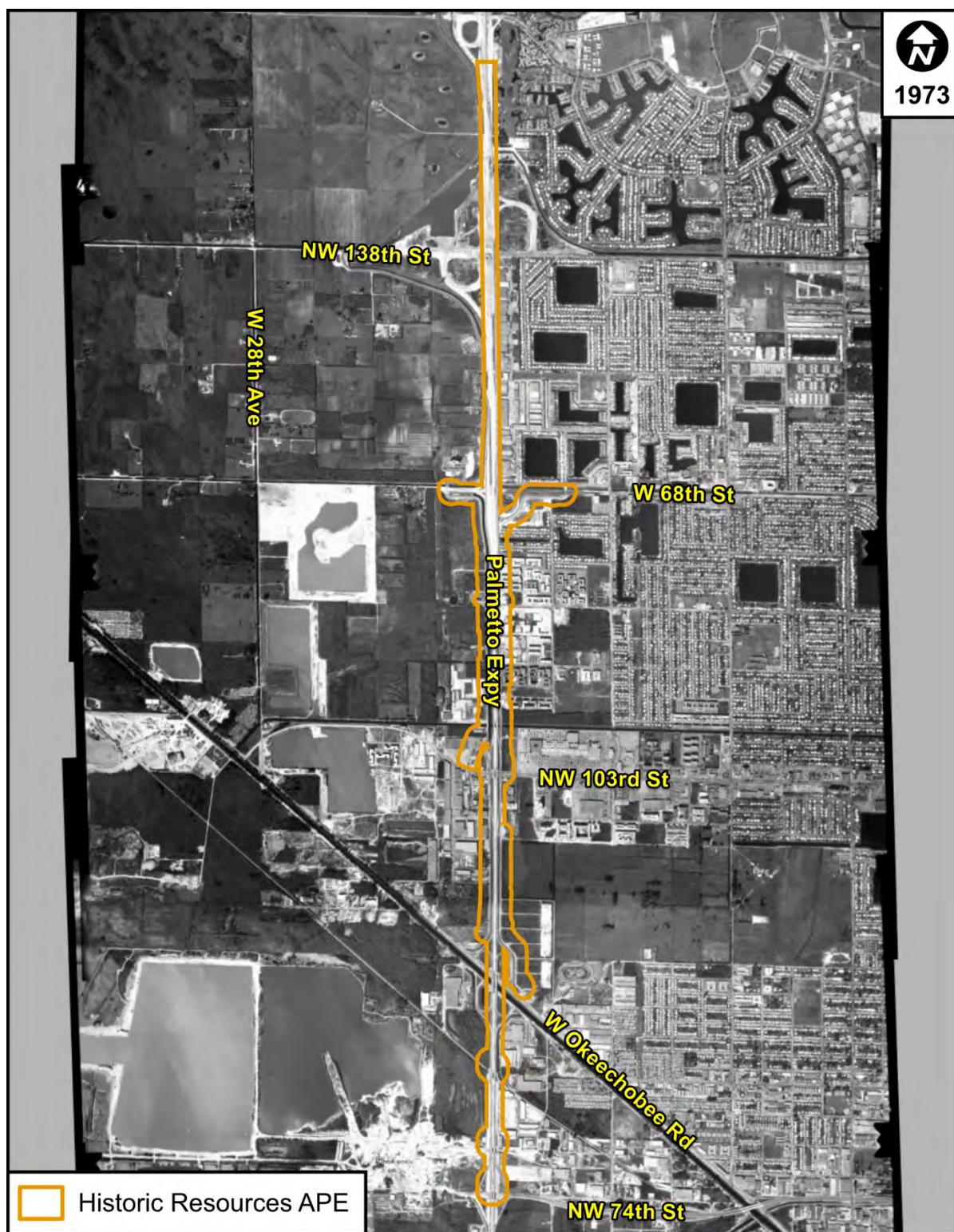


Figure 16: A 1973 aerial photograph of the project APE

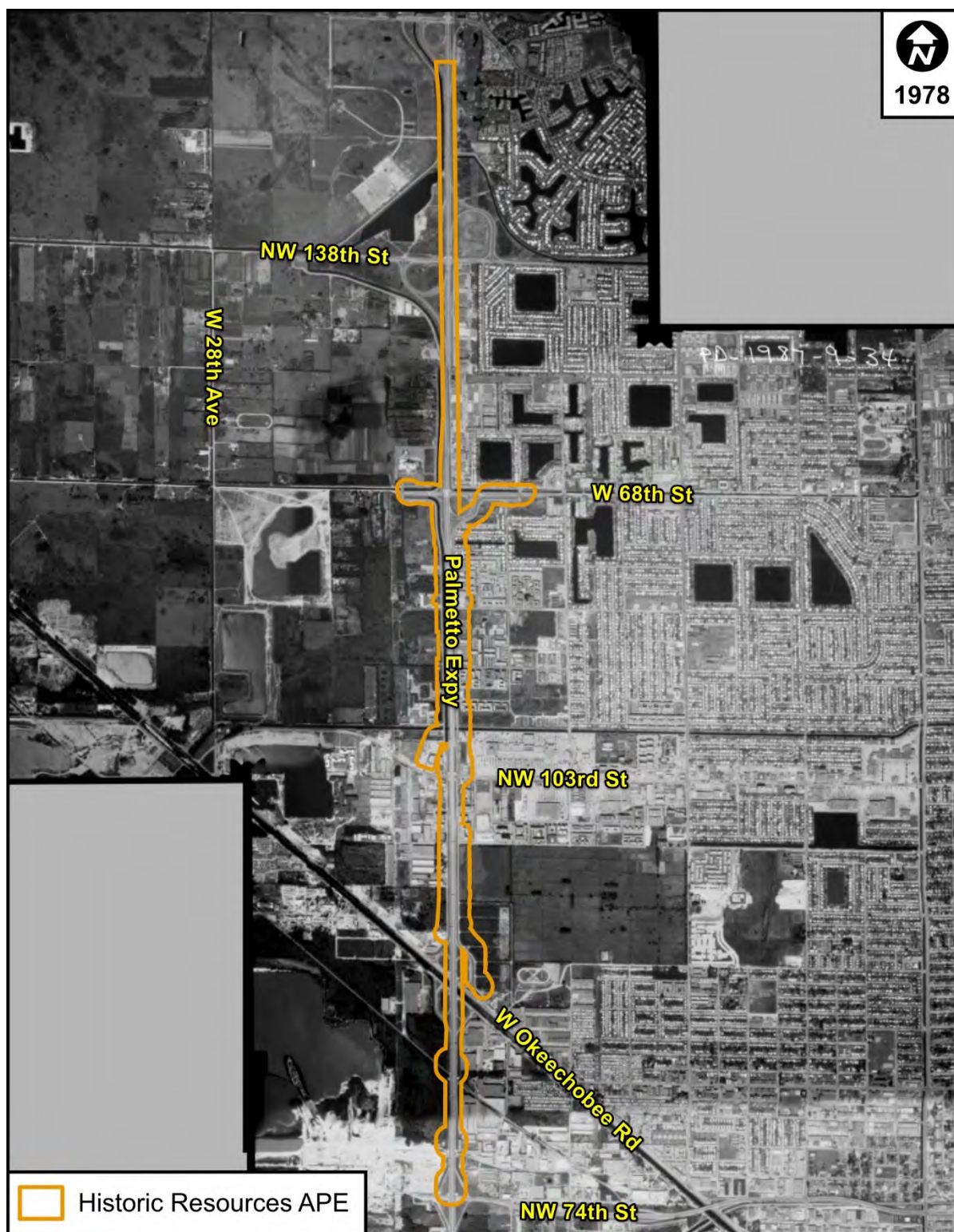


Figure 17: A 1978 aerial photograph of the project APE

METHODS

Archaeological Resources

Desktop analyses that addressed most of the APE were conducted during the 2010 and 2012 CRAS surveys to identify the presence of significant, or potentially significant archaeological sites that may be impacted by proposed project activities, and to establish zones of archaeological probability. These analyses included a review of General Land Office (GLO) historic plat maps, historic aerials, Miami-Dade County soil surveys, and pertinent environmental variables. The results of the previous analysis were used to determine the feasibility and need for subsurface testing.

The current archaeological APE consists of similar improvements taking place within or adjacent to the 2010 and 2012 APEs, and therefore this analysis is not repeated in the current document. An updated site potential analysis was conducted for those areas of the current APE that extend outside of the limits of previous CRAS reports. Both areas are west of SR 826 and its parallel frontage roads. One area includes the portion of W 21st Court, W 68th Street, and W 20th Avenue north of W 64th Street and south of W 68th Street that extends outside of previous APE. The other area is a segment of NW 77th Court from where NW 77th Avenue curves to the west and becomes NW 77th Court to the intersection with NW 103rd Street.

No subsurface testing was feasible within the portions of the APE extending outside of the previously surveyed limits or within the previously recorded archaeological site locations due to the presence of existing pavement, sidewalk, and buried utilities and drainage. Therefore, the archaeological field survey consisted of a pedestrian survey. This included a visual inspection of the project corridor to determine whether subsurface testing was feasible and to look for evidence of any environmental factors indicative of increased archaeological site potential. Standard archaeological methods for recording field data were followed throughout the project. Photographs were taken to document the existing conditions.

Historic Resources

Two architectural historians conducted a historic resources survey in order to ensure that resources built during or before 1974 within the project area were identified, properly mapped, and photographed. The historic resources survey used standard field methods to identify and record historic resources. In addition, the previous studies of the project area were consulted. Resources within the APE received a preliminary visual reconnaissance. Resources with features indicative of 1974 or earlier construction materials, building methods, or architectural styles were noted on aerial photographs.

Previously recorded historic resources were field verified for any updates to their status and FMSF forms were only updated where the resources exhibited modifications or required an updated evaluation of significance since they were last recorded. For each newly identified historic resource, FMSF forms were filled out with field data, including notes from site observations and research findings. The estimated date of construction, distinctive features, and architectural style

were noted. Photographs were taken with a high resolution digital camera. A log was kept to record the building's physical location and compass direction of each photograph.

Each historic resource's individual significance was then evaluated for its potential eligibility for listing in the National Register. Historic physical integrity was determined from site observations, field data, and photographic documentation. Local informants were consulted to assist in the research for known significant historical associations.

Concentrations of historic resources within the APE for the project were noted in terms of the potential for inclusion in a historic district. Each resource's present condition, location relative to other resources, and distinguishing neighborhood characteristics were noted and photographed for accurate assessment of National Register Historic District eligibility

Local Informants and Certified Local Government Coordination

Local informants may often provide valuable information which is otherwise not available through official records or library collections. During coordination conducted with Mr. Jeff Ransom, Miami-Dade County Archaeologist, during the 2012 CRAS efforts, Mr. Ransom suggested a potential alternate location for archaeological site 8DA40. Based on review of historic maps and aerials coupled with John Goggin's site description, Mr. Ransom suggested that site 8DA40 may have been located approximately 665 feet north of its plotted location in the FMSF. The field survey conducted during the current survey or past surveys identified no data to corroborate or refute Ms. Ransom's hypothesis (Janus Research 2012a; FMSF Manuscript No. 19276). Ms. Kathleen Kauffman, the former Miami-Dade County Historic Preservation Chief, did not identify any cultural resources.

Miami-Dade County is listed on the September 30, 2020 list of Certified Local Governments (CLG) posted on the Florida Division of Historical Resources website (FDHR 2020). Mr. Jeff Ransom, Miami-Dade County Archaeologist, and Ms. Sarah Cody, Historic Preservation Planner for Miami-Dade County were contacted via email on October 13, 2020 for information regarding cultural resources in relation to the current project. As of the date of the submittal of this CRAS, Mr. Ransom and Ms. Cody have not yet responded.

PROJECT RESEARCH DESIGN AND SITE LOCATION MODEL

An archaeological site potential analysis provides information regarding which areas of a project have the highest probability of containing archaeological sites. Four environmental variables are typically used to predict site potential: distance to fresh water, relative elevation, soil characteristics, and distance to hardwood hammocks. The archaeological site potential analyses and field surveys documented in the 2010 CRAS report determined that the portion of the APE that was located near previously recorded archaeological sites and that could not be tested prior to construction contained moderate to high archaeological site potential. The 2012 CRAS report determined that the archaeological APE exhibited low archaeological site potential due to the extensive filling and land shaping that took place along the entire project corridor during the construction of roadways and structures. Archaeological monitoring of previous construction in areas where testing could not precede construction documented extensive disturbance and fill, and lack of natural soil. The SHPO concurred with the archaeological findings of the 2010 and 2012 CRAS reports in letters signed on February 15, 2011, and August 3, 2012, respectively.

An updated review of historic plat maps (Florida Department of Environmental Protection [FDEP] 1912a, 1912b), Miami-Dade County soil surveys (United States Department of Agriculture [USDA] 1958, 1996), historic USGS quadrangle maps, and aerial photographs (FDOT Surveying and Mapping Office 1996–2019) was conducted. Prior to development, the APE was within the Everglades physiographic province (White 1970, Plate 1-C), and both ground and surface water would have been available in the area. Elevations in these areas average 6-7 feet (2 m) above mean sea level. The 1996 *Dade County Soil Survey* described the northern portion of the expanded APE, which is adjacent to a canal, as Udorthents-Water Complex. The southern portion of the expanded APE was characterized as Urban land. These soils indicate a high degree of disturbance and development. Based on the Dade County soil survey conducted in 1947 (USDA 1958), soils in the northern portion of the expanded APE consisted of Everglades peat shallow phase over shallow sand, a very poorly drained and often inundated soil type found near the eastern edge of the Everglades. The southern portion of the expanded APE was described as Davie mucky fine sand, a poorly drained to very poorly drained soil consisting of peat or muck over sand, and limestone at 2-4 feet deep. The natural vegetation for both of these soil types was sawgrass (USDA 1958:16-19). Based on the Hialeah (1950) and Opa-Locka (1949) USGS quadrangle maps, no hammocks or knolls were present within the expanded APE. No hammocks or tree islands were visible within the expanded APE in the 1951, 1968, 1971, or 1978 aerial images.

These areas of the current APE are within existing hardscape and areas that have been previously disturbed by the construction of the highways, roads, and surrounding development. The updated analysis determined that these areas exhibit low archaeological site potential.

RESULTS

Archaeological Results

Two previously recorded archaeological sites (8DA40 and 8DA75) were identified within the archaeological APE during the background research for the current survey. No locally designated archaeological sites or zones are located within one mile of the project corridor. No subsurface testing was feasible within the archaeological APE due to the presence of existing pavement, ditches and berms, access drives, planted vegetation, concrete sidewalk, and numerous features indicative of buried utilities, including gas pipeline, water lines, sanitary and storm sewer, fiber optic cable, electric, lighting, signalization, and ITS. The pedestrian survey did not identify any evidence of archaeological sites or environmental factors indicative of increased archaeological site potential. Representative photographs of the current condition of the archaeological APE are included in Figures 18-21.



Figure 18: Pavement, Landscaping, Sidewalks, Gas Pipeline, and Fiber Optic Cable within the Portion of the APE in the Recorded Limits of 8DA75, Facing South



Figure 19: Pavement, Buried Utilities, and Land Modification within the Northern Expanded APE along W 68th Street between 21st Court and W 20th Avenue, Facing East



Figure 20: Pavement, Concrete Sidewalk, and Underground Utilities within the Southern Expanded APE along SW 77th Court, Facing West

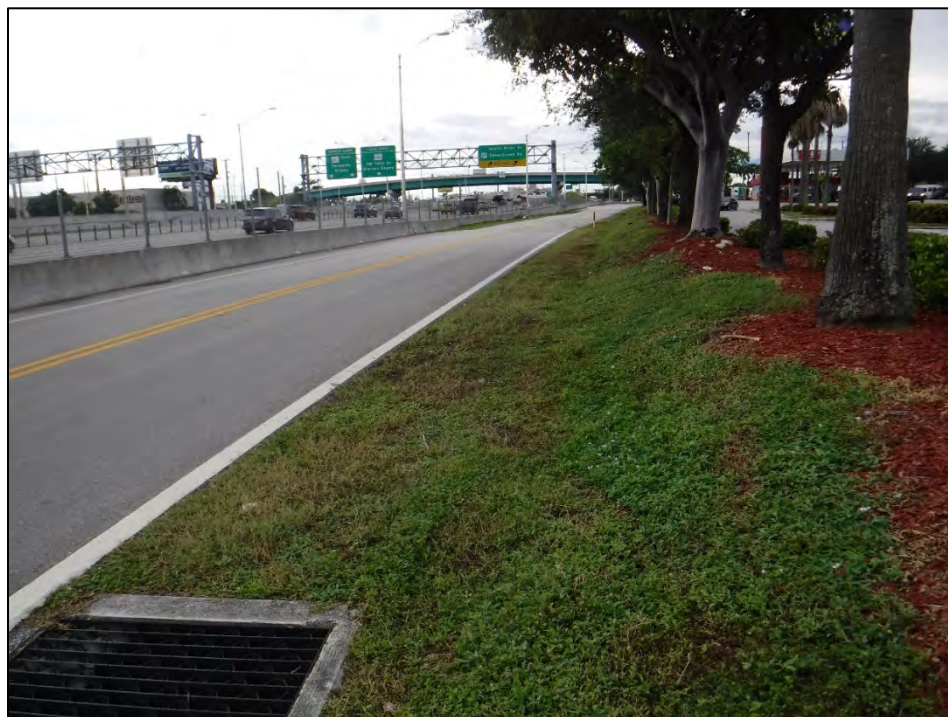


Figure 21: Pavement, Underground Drainage, Fiber Optic Cable, and Landscaping on Berms South of Wal-Mart Shopping Center Driveway within the Portion of the APE in the Recorded Limits of 8DA40, Facing South

Historic Resources Survey Results

The historic resources survey resulted in the identification of 49 historic resources within the historic resources APE. The resources include 15 previously recorded historic resources comprised of: six historic linear resources, six historic structures, two historic bridges, and one designed historic landscape. Two of the previously recorded historic resources have been determined eligible for listing in the National Register by the SHPO: the Miami Canal (8DA6525) and the FEC Railway (8DA10107). Because no significant changes were made to these resources, updated FMSF forms were not completed. Twelve previously recorded historic resources were determined ineligible for listing in the National Register by the SHPO (8DA6352, 8DA11420, 8DA11680-8DA11683, 8DA12380-8DA12382, 8DA12389, 8DA12390, and 8DA15160). The one remaining previously recorded historic resource, 8DA12383, was determined to have insufficient information for an evaluation of National Register-eligibility by the SHPO.

The fifteen previously recorded historic resources were subject to field review for changes since they were last recorded in the FMSF or evaluated by the SHPO. Updated FMSF forms were prepared for two of the previously recorded historic resources: 8DA12382 and 8DA12383. Both resources were initially recorded with incorrect property addresses which were updated, and an updated evaluation of significance was completed for 8DA12383. The updated FMSF forms are included in Appendix A.

The 34 newly recorded resources identified in the historic resources APE include 27 historic structures (8DA19117-8DA19143), four historic resource groups (8DA19147-8DA19150), and three historic bridges (8DA19154-8DA19156). The four newly recorded resource groups include one industrial complex and three condominium complexes located on parcels that are partially within the historic resources APE. The 27 newly recorded historic structures and four resource groups exhibit common architectural styles and design types found in South Florida and many feature alterations or modifications which impact their historic physical integrity including replaced windows, doors, or exterior material, non-historic exterior ornament, or additions. Research conducted during this study did not identify known associations with significant people or historical events. Furthermore, the area surrounding the historic resources APE was subject to large scale development beginning in the 1960s, a common trend in the western part of Miami-Dade County coinciding with increased population growth and the need for new residential, commercial, and industrial construction. Therefore, these 31 newly recorded historic resources are considered ineligible for listing in the National Register, either individually or as part of a historic district.

The three bridges identified during this study (8DA19154-8DA19156) are common bridge types, reinforced concrete slab and prestressed concrete multi-beam, and meet the criteria for the 2012 Program Comment issued by the ACHP, Streamlining Section 106 Review for Actions Affecting Post-1945 Concrete and Steel Bridges (ACHP 2012). All three bridges are exempt from Section 106 consideration and were not evaluated for eligibility for the National Register, however they were recorded and documented in the FMSF. The FMSF forms completed for all newly recorded historic resources are included in Appendix A.

This *Results* section includes a comprehensive table of the identified historic resources within the historic resources APE (Table 5). The previously recorded resources within the APE are listed first in ascending order, followed by the newly recorded historic resources. The newly recorded resource groups are located near the corresponding historic structures within the table. Identified Historic Resources Maps (Figures 22a-22j) depict the location of each identified historic resource within the historic resources APE.

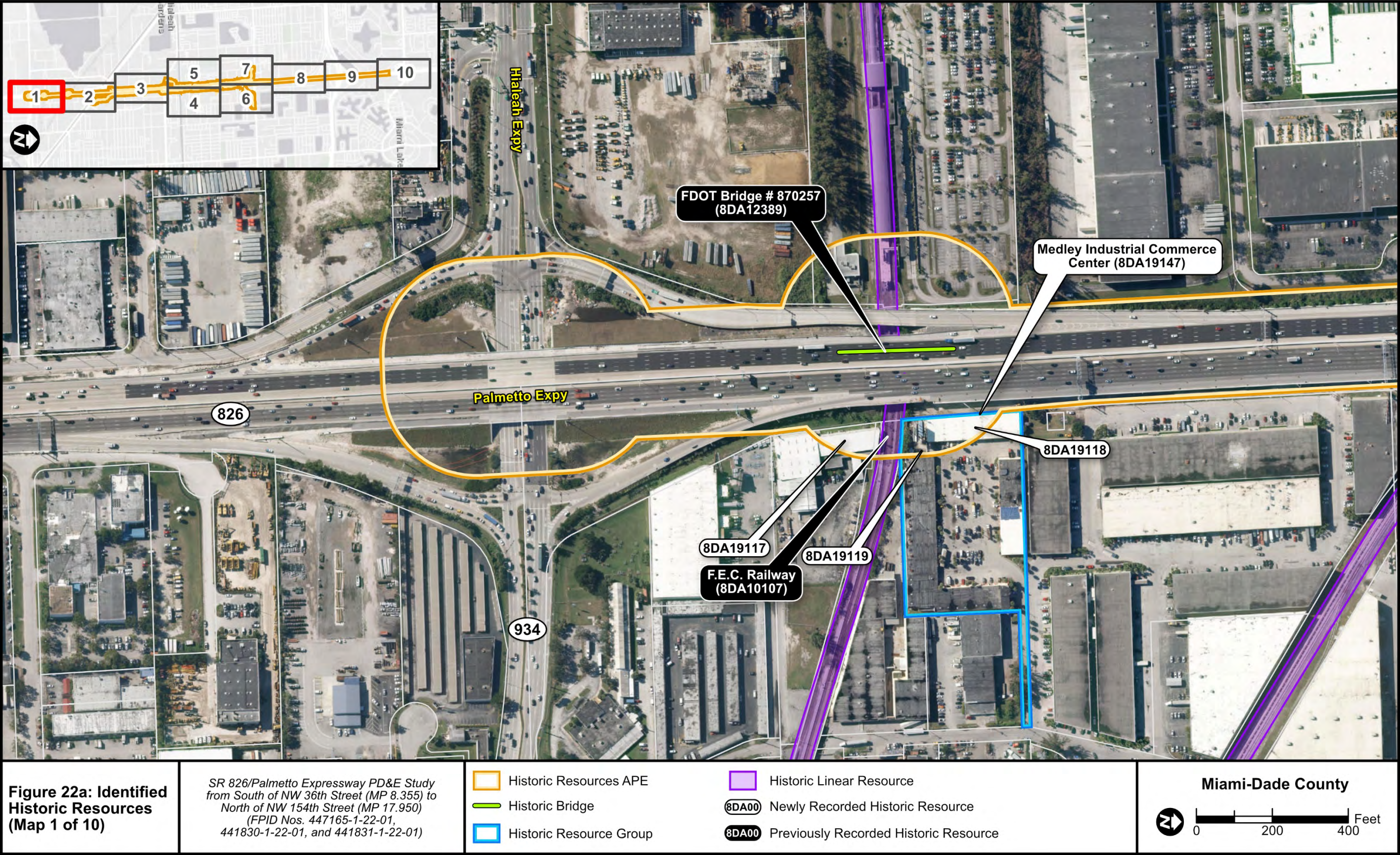
Figures 23-24 depict the two previously recorded historic resources which were updated as part of the current survey to update incorrect property addresses in the FMSF and to provide an updated evaluation of significance for 8DA12383 since the SHPO did not provide a determination of eligibility. Figures 25-62 are representative photographs of the newly recorded historic structures and resource groups, which were all considered ineligible for listing in the National Register. Figures 63-65 are representative photographs of the newly recorded historic bridges. All FMSF forms completed for historic resources as part of this survey are included in Appendix A.

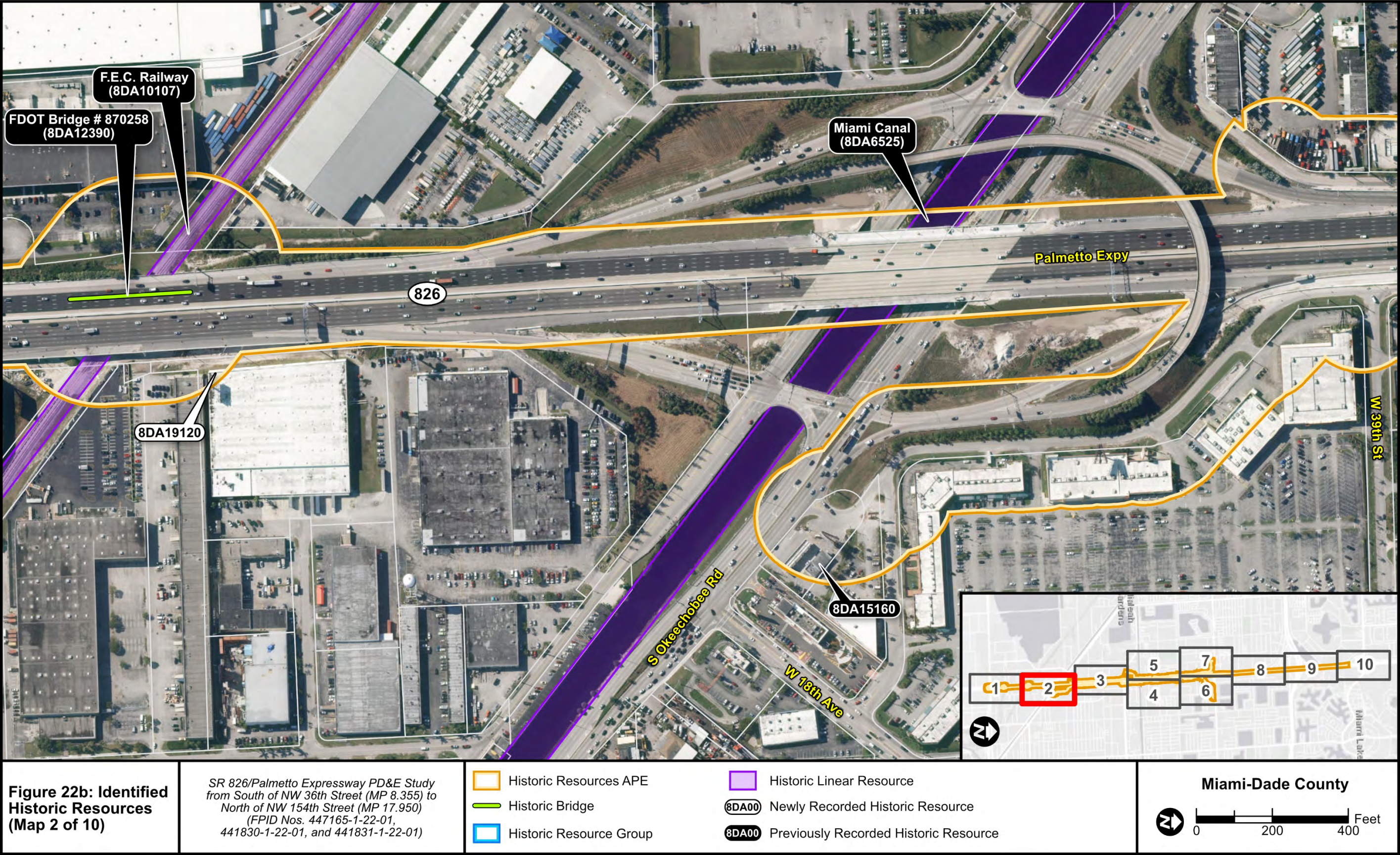
Table 5: Identified Historic Resources within the Historic APE

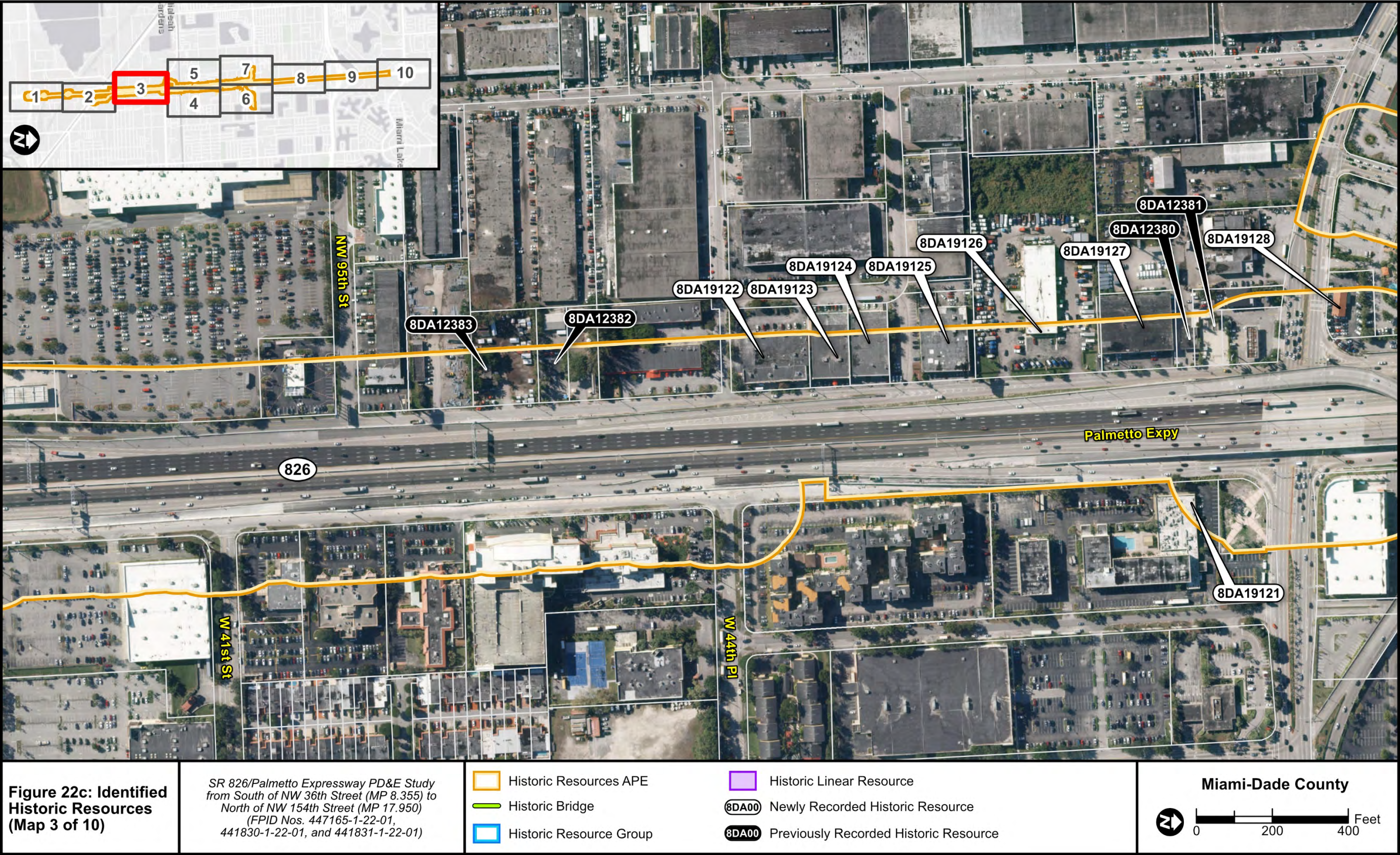
FMSF No.	Site Name/Address	Resource Type/Style	Year Built	National Register Evaluation
8DA6352	Little River Canal	Historic Canal Segment	c. 1954	Determined Ineligible
8DA6525	Miami Canal	Historic Canal Segment	c. 1912	Segment Within the APE is Contributing to the National Register-Eligible Resource
8DA10107	FEC Railway	Historic Railroad Segment	c. 1896	Segment Within the APE is Contributing to the National Register-Eligible Resource
8DA11420	Graham Dairy Canal	Historic Canal Segment	c. 1952	Determined Ineligible
8DA11680	Laser Games/10600 NW 77th Avenue	Masonry Vernacular	c. 1959	Determined Ineligible
8DA11681	SR 826 Canal	Historic Canal Segment	c. 1952	Determined Ineligible
8DA11682	Lake Catalina	Designed Historic Landscape	c. 1961	Determined Ineligible
8DA11683	W 68th Street Canal	Historic Canal Segment	c. 1952	Determined Ineligible
8DA12380	Enterprise Rent-a-Car/7500 NW 103rd Street	Masonry Vernacular	c. 1959	Determined Ineligible
8DA12381	Northwest Hialeah Gate Station #3/9980 NW 77th Avenue	Not Applicable	c. 1961	Determined Ineligible
8DA12382	Superior Sheds/9660 NW 77th Avenue	Masonry Vernacular	c. 1957	Determined Ineligible
8DA12383	The Shed Depot/9600 NW 77th Avenue	Frame Vernacular	c. 1957	Considered Ineligible
8DA12389	FDOT Bridge #870257	Historic Bridge	c. 1960	Determined Ineligible
8DA12390	FDOT Bridge #870258	Historic Bridge	c. 1960	Determined Ineligible
8DA15160	Chevron Gas Station/3425 W Okeechobee Road	Masonry Vernacular	c. 1965	Determined Ineligible
8DA19117	Sunniland Roofing Supplies/7600 NW 74th Avenue	Industrial Vernacular	c. 1966	Considered Ineligible
8DA19118	Medley Industrial Commerce Center Bldg A/7704-7740 NW 75th Avenue	Industrial Vernacular	c. 1969	Considered Ineligible
8DA19119	Medley Industrial Commerce Center Bldg B/7580-7735 NW 77th Terrace	Industrial Vernacular	c. 1971	Considered Ineligible

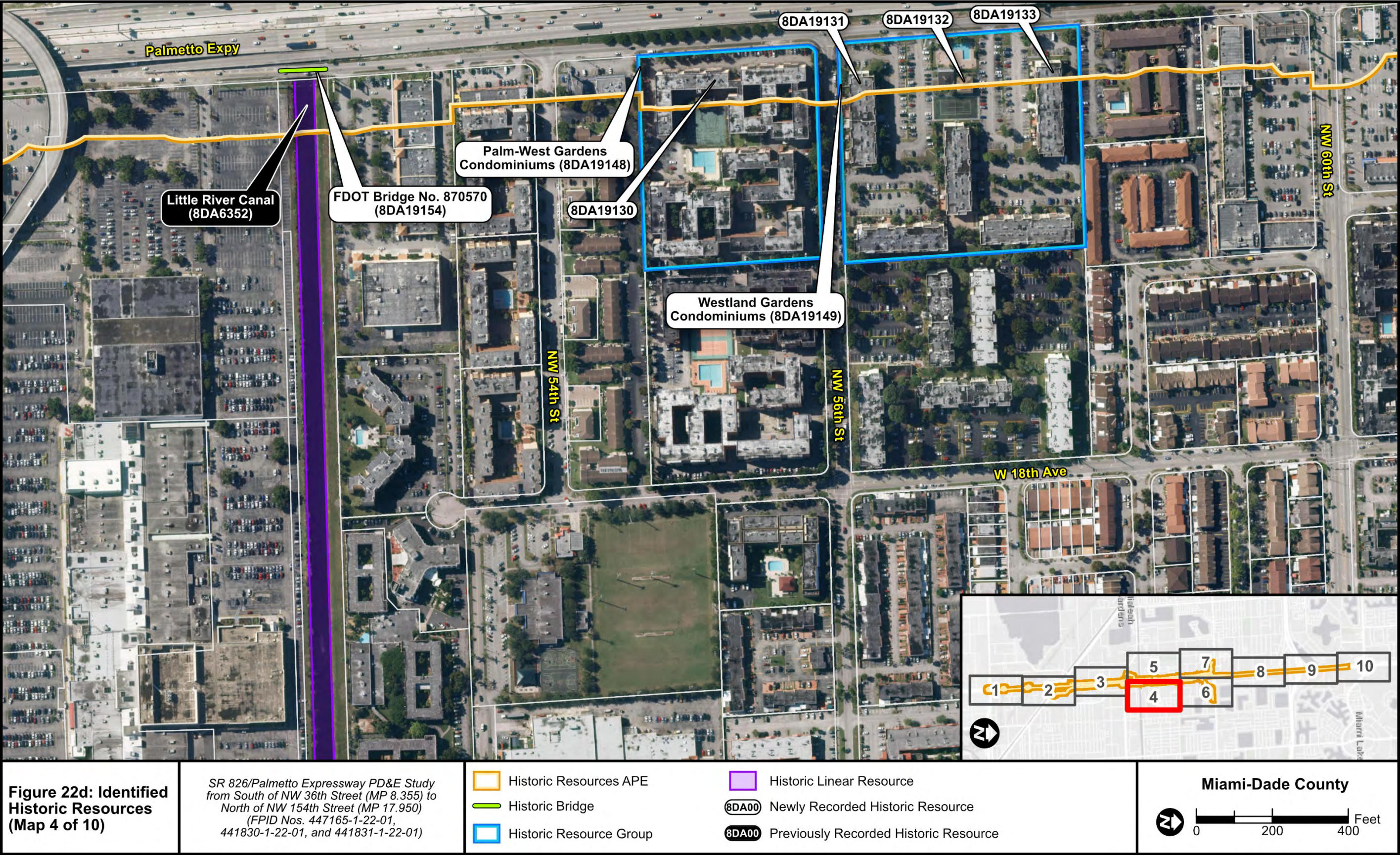
FMSF No.	Site Name/Address	Resource Type/Style	Year Built	National Register Evaluation
8DA19147	Medley Industrial Commerce Center	Resource Group	c. 1969	Considered Ineligible
8DA19120	8150 NW 76th Avenue	Industrial Vernacular	c. 1968	Considered Ineligible
8DA19121	1950 W 49th Street	Masonry Vernacular	c. 1970	Considered Ineligible
8DA19122	Beauty Academy of South Florida/9800 NW 77th Avenue	Masonry Vernacular	c. 1967	Considered Ineligible
8DA19123	The Christmas Palace/9820 NW 77th Avenue	Masonry Vernacular	c. 1967	Considered Ineligible
8DA19124	Mondano Lighting Home Gallery&LED Are Us/9840 NW 77th Avenue	Masonry Vernacular	c. 1974	Considered Ineligible
8DA19125	Comunidad De Fe Ministries/9880 NW 77th Avenue	Masonry Vernacular	c. 1970	Considered Ineligible
8DA19126	Freightliner/9900 NW 77th Avenue	Industrial Vernacular	c. 1968	Considered Ineligible
8DA19127	Tropical Tile & Marble/9950 NW 77th Avenue	Industrial Vernacular	c. 1968	Considered Ineligible
8DA19128	7701 NW 103rd Street	Masonry Vernacular	c. 1972	Considered Ineligible
8DA19129	Mater Academy/7901 NW 103rd Street	Not Applicable	c. 1962	Considered Ineligible
8DA19130	Palm-West Gardens Condominiums Bldg 3/1990 W 56th Street	Masonry Vernacular	c. 1973	Considered Ineligible
8DA19148	Palm-West Gardens Condominiums/1910-1990 W 56th Street	Resource Group	c. 1973	Considered Ineligible
8DA19131	Westland Gardens Condominiums Bldg 5625/5625 W 20th Avenue	Masonry Vernacular	c. 1972	Considered Ineligible
8DA19132	Westland Gardens Condominiums Clubhouse/ 5625 W 20th Avenue	Masonry Vernacular	c. 1972	Considered Ineligible
8DA19133	Westland Gardens Condominiums Bldg 5775/ 5775 W 20th Avenue	Masonry Vernacular	c. 1972	Considered Ineligible
8DA19149	Westland Gardens Condominiums/5625-5775 W 20th Avenue	Resource Group	c. 1972	Considered Ineligible
8DA19134	The Palmetto Residence Condominiums/6075 W 20th Avenue	Masonry Vernacular	c. 1972	Considered Ineligible

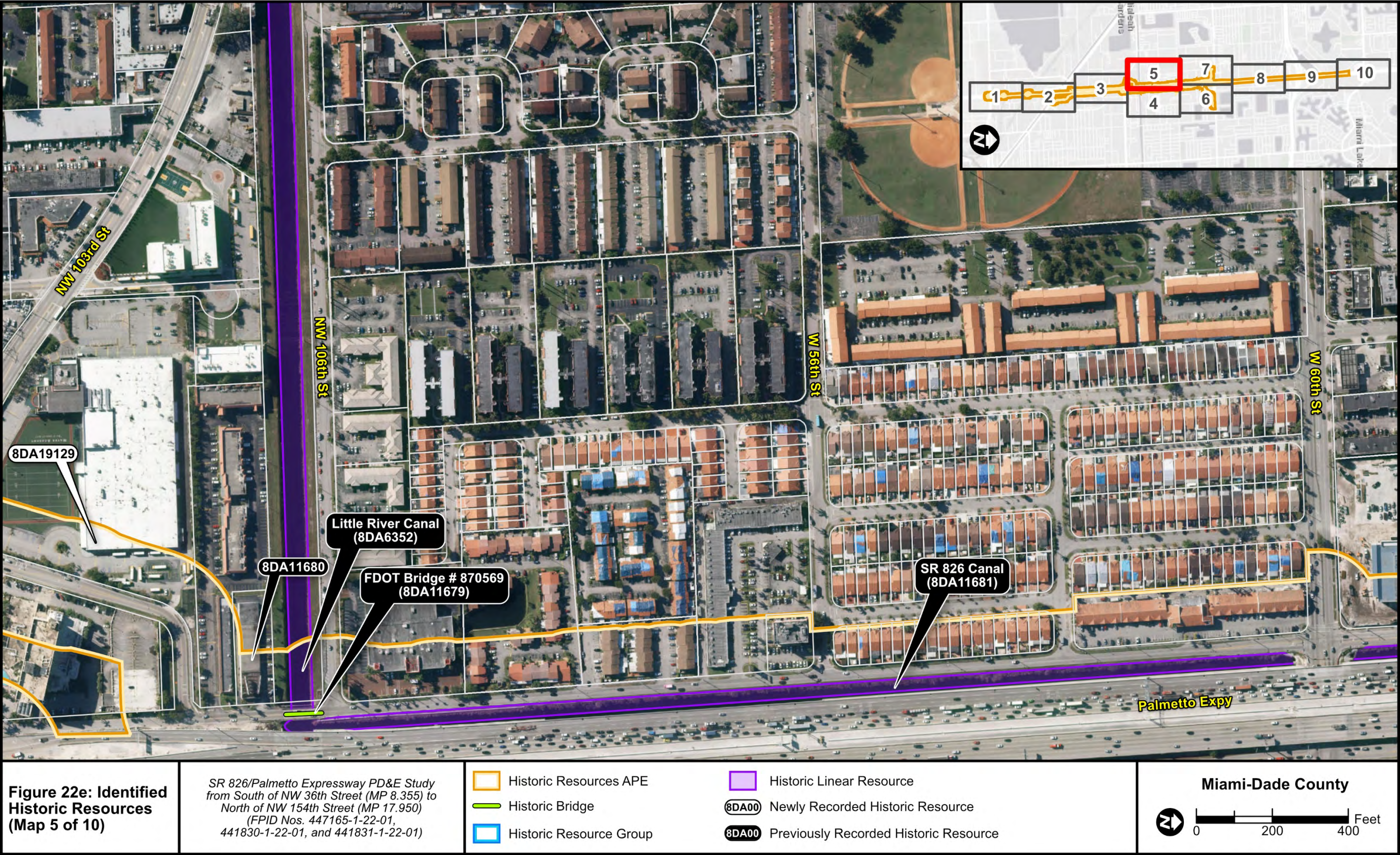
FMSF No.	Site Name/Address	Resource Type/Style	Year Built	National Register Evaluation
8DA19135	Palmetto Gardens North Condominiums/6125 W 20th Avenue	Masonry Vernacular	c. 1974	Considered Ineligible
8DA19136	Andes Condominiums/6215 W 20th Avenue	Masonry Vernacular	c. 1973	Considered Ineligible
8DA19137	1990 W 63rd Street	Masonry Vernacular	c. 1970	Considered Ineligible
8DA19138	1999 W 63rd Street	Masonry Vernacular	c. 1964	Considered Ineligible
8DA19139	1998 W 64th Street	Masonry Vernacular	c. 1964	Considered Ineligible
8DA19140	1975 W 64th Street	Masonry Vernacular	c. 1968	Considered Ineligible
8DA19141	Los Arboles Condominiums Building 1/1900 W 68th Street	Masonry Vernacular	c. 1973	Considered Ineligible
8DA19142	Los Arboles Condominiums Building 2/1900 W 68th Street	Industrial Vernacular	c. 1973	Considered Ineligible
8DA19143	Los Arboles Condominiums Building 3/ 1900 W 68th Street	Masonry Vernacular	c. 1973	Considered Ineligible
8DA19150	Los Arboles Condominiums/ 1900 W 68th Street	Resource Group	c. 1973	Considered Ineligible
8DA19154	FDOT Bridge No. 870570	Historic Bridge	c. 1968	Exempt from Section 106 Consideration due to 2012 ACHP Program Comment
8DA19155	FDOT Bridge No. 870580	Historic Bridge	c. 1973	Exempt from Section 106 Consideration due to 2012 ACHP Program Comment
8DA19156	FDOT Bridge No. 870467	Historic Bridge	c. 1976	Exempt from Section 106 Consideration due to 2012 ACHP Program Comment

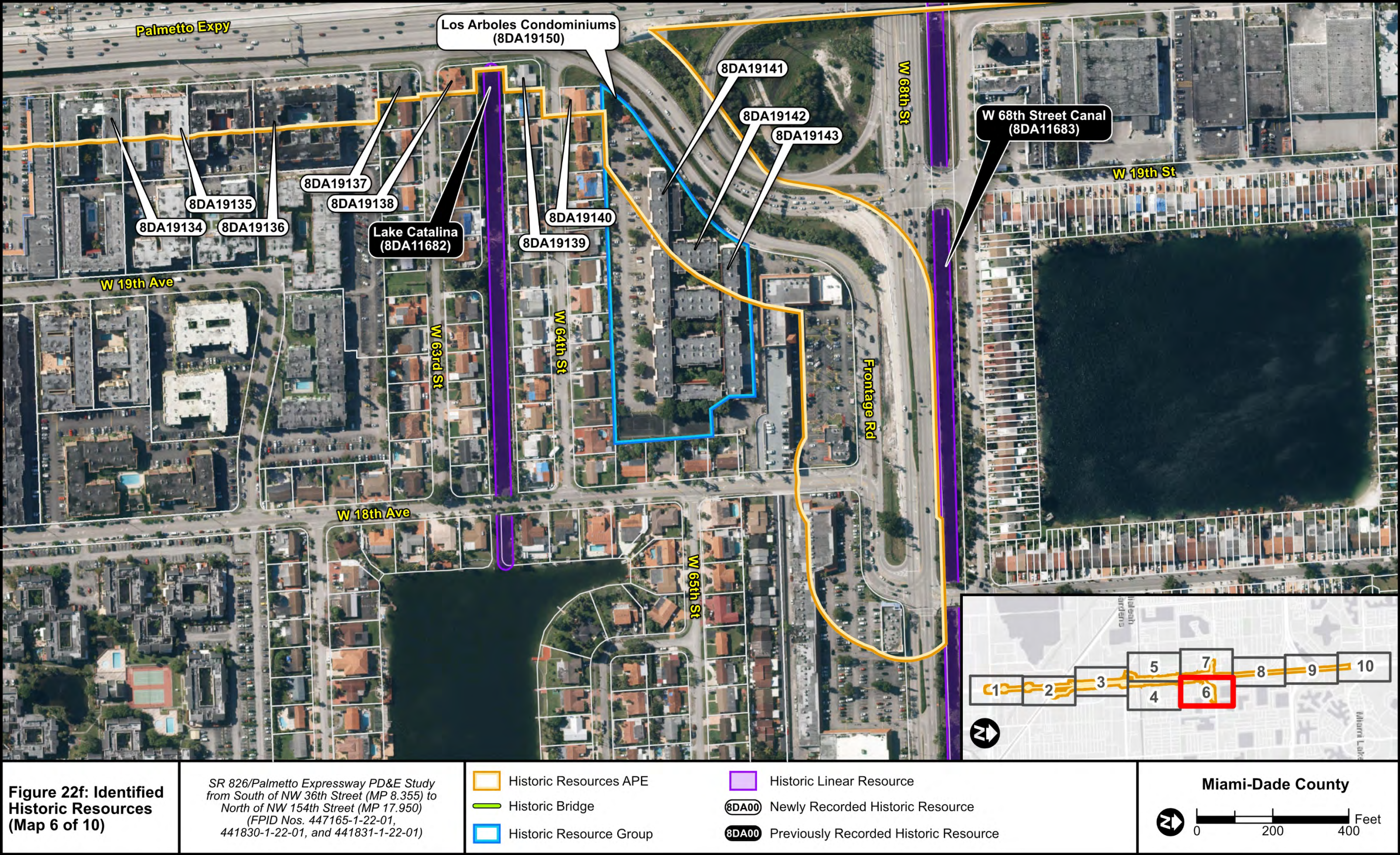


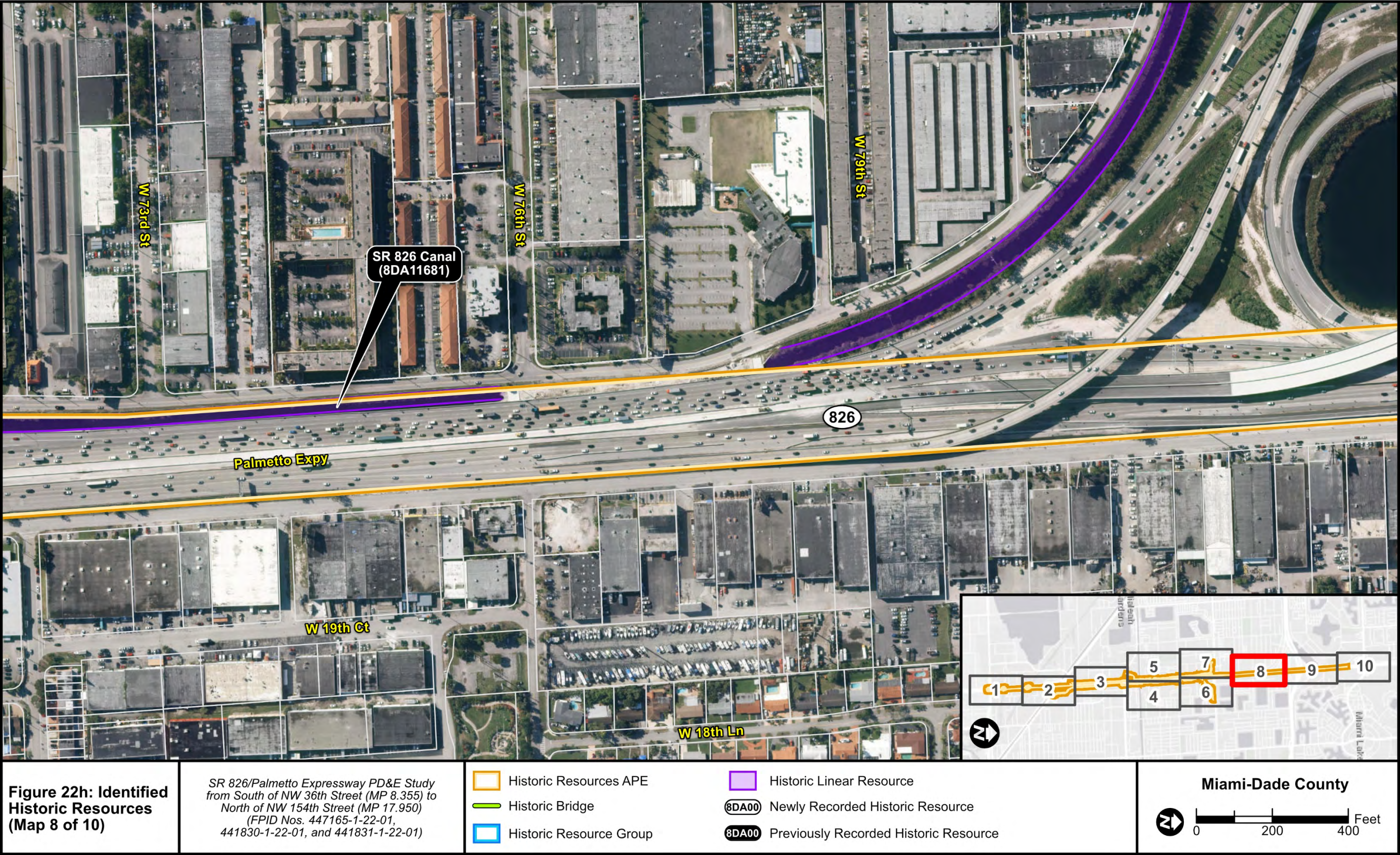


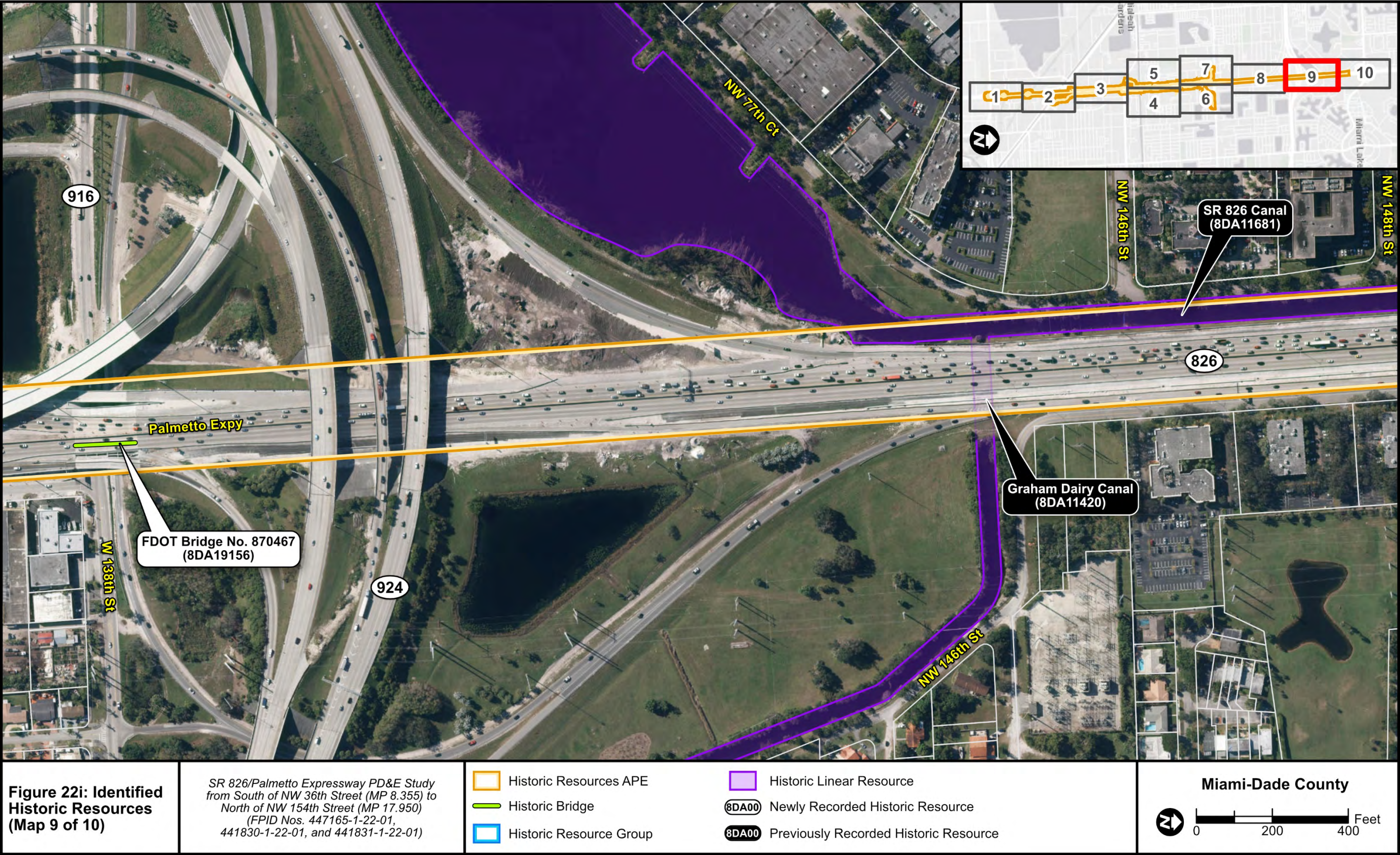


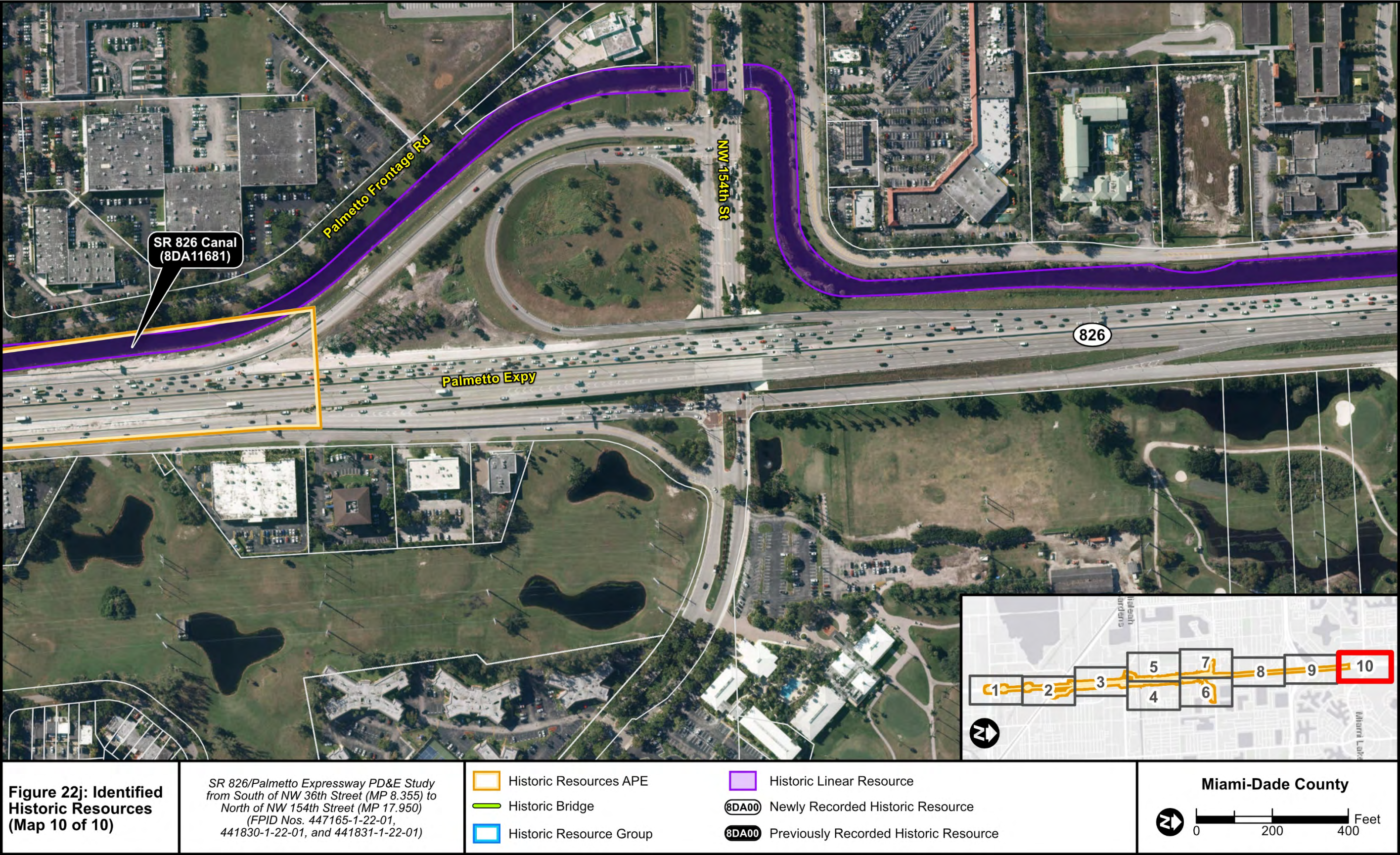












Previously Recorded Historic Resources Considered National Register-Ineligible

The FMSF forms for two previously recorded historic resources, 8DA12382 and 8DA12383, were updated during the current survey. Superior Sheds (8DA12382), located at 9660 NW 77th Avenue, is a c. 1957 Masonry Vernacular commercial building which was determined ineligible for listing in the National Register by the SHPO on August 3, 2012. The FMSF form was only updated to reflect the accurate property address and no changes to the resource were observed when compared to the previous FMSF form. Therefore, 8DA12382 is still considered National Register-ineligible as a result of the current survey.

The Shed Depot (8DA12383), located at 9600 NW 77th Avenue, is a c. 1957 Frame Vernacular commercial building. The two story structure features a wood frame structural system with stucco exterior walls and a flat roof of built-up material. The only visible distinguishing architectural feature is rafter tails extending at the roof line. The majority of the visible windows appear to date to the time of the construction and are aluminum awning two-light or three-light windows, some of which are paired. One visible window is a circa 1990 vinyl one-over-one single-hung-sash window. The main entrance to the structure was not visible to surveyors and no additions or porches were observed. The 8DA12383 likely retains its original plan, location, and exhibits few alterations. The structure does not possess any known associations with significant people or events and is a common architectural style found throughout South Florida. Therefore, 8DA12383 is considered ineligible for listing in the National Register either individually or as part of a historic district.

Photographs of both previously recorded historic structures are included as Figures 23 and 24. The updated FMSF forms for both historic resources are included in Appendix A.



Figure 23: Superior Sheds (8DA12382), c. 1957, located at 9660 NW 77th Avenue, determined National Register-ineligible, facing West



Figure 24: The Shed Depot (8DA12383), c. 1957, located at 9600 NW 77th Avenue, considered National Register-ineligible, facing South

Newly Recorded Historic Resources Considered National Register- Ineligible

The newly recorded historic resources identified in the project APE include 27 historic structures (8DA19117-8DA19143) and four historic resource groups (8DA19147-8DA19150). The four newly recorded resource groups include one industrial complex and three condominium complexes located on parcels that are partially within the historic resources APE.

Twenty of the newly identified historic structures are Masonry Vernacular-style buildings (8DA19121-8DA19125, 8DA19128, 8DA19130-8DA19143), many of which feature non-historic alterations such as replaced windows, doors, and exterior fabric, the addition of non-historic decorative ornament, or exhibit additions. Six of the newly identified historic structures are Industrial Vernacular-style buildings (8DA19117-8DA19120, 8DA19126, 8DA19127), which feature additions or alterations including replaced windows, doors, and exterior material. One newly identified historic structure (8DA19129) is a school building which exhibits so many alterations to the building's exterior, as well as non-historic additions, that no specific architectural style is discernable. The four resource groups consist of one industrial complex and three condominium complexes, all of which feature multiple Masonry Vernacular or Industrial Vernacular structures with replaced windows, doors, or exterior fabric.

All 31 newly recorded historic structures and resource groups are considered to be ineligible for listing in the National Register individually or as part of a historic district. In general, the historic resources tend to feature simple forms and common design types, which can be found on buildings constructed during their respective periods throughout the state of Florida. Many have undergone alterations that detract from their historic integrity, and they are similar to many other structures found throughout Miami-Dade County. In addition, limited research conducted during this study revealed no significant associations with important persons or events in connection with any of the structures.

This section contains photographs of the 31 newly recorded historic structures and resource groups located within the project APE (Figure 25-62). The completed FMSF forms for all newly recorded historic resources are included in Appendix A.



Figure 25: Sunniland Roofing Supplies (8DA19117), c. 1966, located at 7600 NW 74th Avenue, considered National Register-ineligible, facing Northwest



Figure 26: Medley Industrial Commerce Center Bldg A (8DA19118), c. 1969, located at 7704-7740 NW 75th Avenue, considered National Register-ineligible, facing Northwest



Figure 27: Medley Industrial Commerce Center Bldg B (8DA19119), c. 1971, located at 7580-7735 NW 77th Terrace, considered National Register-ineligible, facing Southeast



Figure 28: The Medley Industrial Commerce Center Resource Group (8DA19147), c. 1969, located at 7750 NW 77th Avenue, considered National Register-ineligible, facing South



Figure 29: Medley Industrial Commerce Center Bldg A (8DA19118) located in Medley Industrial Commerce Center Resource Group (8DA19147), c. 1969, considered National Register-ineligible, facing Southwest



Figure 30: Building outside APE located in Medley Industrial Commerce Center Resource Group (8DA19147), c. 1969, considered National Register-ineligible, facing Northwest



Figure 31: 8150 NW 76th Avenue (8DA19120), c. 1968, considered National Register-ineligible, facing Southwest



Figure 32: 1950 W 49th Street (8DA19121), c. 1970, considered National Register-ineligible, facing Southwest



Figure 33: Beauty Academy of South Florida (8DA19122), c. 1967, located at 9800 NW 77th Avenue, considered National Register-ineligible, facing Southwest



Figure 34: The Christmas Palace (8DA19123), c. 1967, located at 9820 NW 77th Avenue, considered National Register-ineligible, facing Southwest



Figure 35: Mondano Lighting Home Gallery/LED Are Us (8DA19124), c. 1974, located at 9840 NW 77th Avenue, considered National Register-ineligible, facing Northwest



Figure 36: Comunidad De Fe Ministries (8DA19125), c. 1970, located at 9880 NW 77th Avenue, considered National Register-ineligible, facing Northwest



Figure 37: Freightliner (8DA19126), c. 1968, located at 9900 NW 77th Avenue, considered National Register-ineligible, facing Northwest



Figure 38: Tropical Tile & Marble (8DA19127), c. 1968, located at 9950 NW 77th Avenue, considered National Register-ineligible, facing Northwest



Figure 39: 7701 NW 103rd Street (8DA19128), c. 1972, considered National Register-ineligible, facing Northeast



Figure 40: Mater Academy (8DA19129), c. 1962, located at 7901 NW 103rd Street, considered National Register-ineligible, facing Northwest



Figure 41: Mater Academy (8DA19129), c. 1962, located at 7901 NW 103rd Street, considered National Register-ineligible, facing Northwest



Figure 42: Palm-West Gardens Condominiums Bldg 3 (8DA19130), c. 1973, located at 1990 W 56th Street, considered National Register-ineligible, facing Northeast



Figure 43: The Palm-West Gardens Condominiums Resource Group (8DA19148), c. 1973, located at 1910-1990 W 56th Street, considered National Register-ineligible, facing South



Figure 44: The Palm-West Gardens Condominiums Resource Group (8DA19148), c. 1973, at 1910-1990 W 56th Street, considered National Register-ineligible, facing Southeast



Figure 45: Westland Gardens Condominiums Bldg 5625 (8DA19131), c. 1972, located at 5625 W 29th Avenue, considered National Register-ineligible, facing Northeast



Figure 46: Westland Gardens Condominiums Clubhouse (8DA19132), c. 1972, located at 5625 W 20th Avenue, considered National Register-ineligible, facing Northeast



Figure 47: Westland Gardens Condominiums Bldg 5775 (8DA19133), c. 1972, located at 5775 W 20th Avenue, considered National Register-ineligible, facing Northeast



Figure 48: The Westland Gardens Condominiums Resource Group (8DA19149), c. 1972, at 5625-5775 W 20th Avenue, considered National Register-ineligible, facing Northeast



Figure 49: The Westland Gardens Condominiums Resource Group (8DA19149), c. 1972, at 5625-5775 W 20th Avenue, considered National Register-ineligible, facing Southeast



Figure 50: The Palmetto Residence Condominiums (8DA19134), c. 1972, located at 6075 W 20th Avenue, considered National Register-ineligible, facing East



Figure 51: Palmetto Gardens North Condominiums (8DA19135), c. 1974, located at 6125 W 20th Avenue, considered National Register-ineligible, facing Northeast



Figure 52: Andes Condominiums (8DA19136), c. 1973, located at 6215 W 20th Avenue, considered National Register-ineligible, facing Northeast



Figure 53: 1990 W 63rd Street (8DA19137), c. 1970, considered National Register-ineligible, facing South



Figure 54: 1999 W 63rd Street (8DA19138), c. 1964, considered National Register-ineligible, facing North



Figure 55: 1998 W 64th Street (8DA19139), c. 1964, considered National Register-ineligible, facing Southeast



Figure 56: 1975 W 64th Street (8DA19140), c. 1969, considered National Register-ineligible, facing North



Figure 57: Los Arboles Condominiums Building 1 (8DA19141), c. 1973, located at 1900 W 68th Street, considered National Register-ineligible, facing East



Figure 58: Los Arboles Condominiums Building 2 (8DA19142), c. 1973, located at 1900 W 68th Street, considered National Register-ineligible, facing East



Figure 59: Los Arboles Condominiums Building 3 (8DA19143), c. 1973, located at 1900 W 68th Street, considered National Register-ineligible, facing East



Figure 60: Los Arboles Condominiums Resource Group (8DA19150), c. 1973, located at 1900 W 68th Street, considered National Register-ineligible, facing East



Figure 61: Los Arboles Condominiums Resource Group (8DA19150), c. 1973, located at 1900 W 68th Street, considered National Register-ineligible, facing East



Figure 62: Los Arboles Condominiums Resource Group (8DA19150), c. 1973, located at 1900 W 68th Street, considered National Register-ineligible, facing Southeast

Newly Recorded Historic Resources Exempt from Section 106 Consideration

The historic resources field survey identified three previously unrecorded historic bridges within the historic resources APE: FDOT Bridge No. 870570 (8DA19154), FDOT Bridge No. 870580 (8DA19155), and FDOT Bridge No. 870467 (8DA19156). The three bridges meet the criteria for the 2012 Program Comment issued by the ACHP, Streamlining Section 106 Review for Actions Affecting Post-1945 Concrete and Steel Bridges (ACHP 2012). The bridge types (reinforced concrete slab and prestressed concrete multi-beam) are listed in the Program Comment under Stipulation V (Description of Common Bridges Within the Scope of This Program Comment). Furthermore, none of the three bridges are listed in the exceptional bridges exempted from the Program Comment developed by FDOT and FHWA as part of the agreement. Therefore, the bridges are exempt from Section 106 consideration and were not evaluated for eligibility for the National Register. However, the bridges were documented in the FMSF and completed forms are included in Appendix A.

FDOT Bridge No. 870570 (8DA19154), c. 1968, carries vehicular traffic on W 20th Avenue over the Little River Canal (8DA6352). The bridge is a three span reinforced concrete slab bridge with a pedestrian sidewalk on the east side. FDOT Bridge No. 870580 (8DA19155), c. 1973, carries eastbound vehicular traffic on NW 122nd Street over the SR 826 Canal (8DA11681). The bridge is a one span reinforced concrete slab bridge with four vehicle travel lanes. FDOT Bridge 870467 (8DA19156), c. 1974 carries northbound SR 826 over NW 138th Street. The bridge is a two span prestressed concrete multi-beam bridge with four vehicle travel lanes. Photographs of the three bridges are included as Figures 63-65.



Figure 63: FDOT Bridge No. 870570 (8DA19154), c. 1968, carries vehicular traffic on W 20th Avenue over the Little River Canal (8DA6352)



Figure 64: FDOT Bridge No. 870580 (8DA19155), c. 1973, carries eastbound vehicular traffic on NW 122nd Street over the SR 826 Canal (8DA11681)



Figure 65: FDOT Bridge 870467 (8DA19156), c. 1974, carries northbound SR 826 over NW 138th Street

CONCLUSIONS

At the request of FDOT, District 6, Janus Research conducted a CRAS for the SR 826/Palmetto Expressway PD&E Study from South of NW 36th Street (MP 8.355) to North of NW 154th Street, in the towns of Miami Lakes and Medley and the cities of Hialeah and Hialeah Gardens, as well as unincorporated Miami-Dade County, Florida. The objective of the survey was to identify cultural resources within the project APE and assess the resources in terms of their eligibility for listing in the National Register according to the criteria set forth in 36 CFR Section 60.4.

Two archaeological resources (8DA40 and 8DA75) were identified within the archaeological APE during the background research. The pedestrian survey did not identify any remains of these sites and confirmed the disturbed nature of the corridor. Subsurface testing within the corridor was not possible due to the extent of hardscape, underground utilities and drainage, and land modification. Previous archaeological monitoring conducted by Archaeological and Historical Conservancy, Inc. during the construction of the improvements for the most recent PD&E in the area documented the presence of fill and extremely disturbed soils within the limits of previously recorded archaeological sites. The desktop analysis and pedestrian survey determined that the portion of the archaeological APE that was not previously comprehensively surveyed exhibited a low potential for containing intact archaeological sites. No Miami-Dade County-designated archaeological sites or zones are located within the APE.

The historic resources survey resulted in the identification of 49 historic resources within the historic resources APE. This includes 15 previously recorded historic resources comprised of: six historic linear resources, six historic structures, two historic bridges, and one designed historic landscape. Two of the previously recorded historic resources have been determined eligible for listing in the National Register by the SHPO: the Miami Canal (8DA6525) and the FEC Railway (8DA10107). Twelve previously recorded historic resources were determined ineligible for listing in the National Register by the SHPO (8DA6352, 8DA11420, 8DA11680-8DA11683, 8DA12380-8DA12382, 8DA12389, 8DA12390, and 8DA15160). The one remaining previously recorded historic resource, 8DA12383, was determined to have insufficient information for an evaluation of National Register-eligibility by the SHPO.

As part of this study, there is no change in evaluation of significance of the 14 previously recorded historic resources which have been evaluated by SHPO. FMSF forms was updated for two previously recorded historic resources: 8DA12382 and 8DA12383. The FMSF form for 8DA12382 was updated to correct the address, which is incorrectly listed in the FMSF but no changes to the resource since it was last recorded were observed and it is still considered National Register-ineligible. The FMSF form for 8DA12383 was updated to correct the address, which is also incorrectly listed in the FMSF, and to update the evaluation of significance since it was first recorded. The 8DA12383 exhibits a common architectural style found in South Florida, and limited research did not reveal any historical associations with significant people or events. Therefore, 8DA12383 is considered ineligible for listing in the National Register, either individually or as part of a historic district.

The historic resources survey identified 34 newly recorded resources within the historic resources APE including 27 historic structures (8DA19117-8DA19143), four historic resource groups (8DA19147-8DA19150), and three historic bridges (8DA19154-8DA19156). The four newly recorded resource groups include one industrial complex and three condominium complexes located on parcels that are partially within the historic resources APE. All 31 newly recorded historic structures and four historic resource groups exhibit common architectural styles found in South Florida. Several structures feature alterations or modifications which impact their historic physical integrity including replaced windows, doors, or exterior material, the additions of non-historic exterior ornament, or additions to the historic structure. Research conducted during this study did not identify known associations with significant people or historical events. The area surrounding the historic resources APE was subject to large scale development beginning in the 1960s, a common trend in the western part of Miami-Dade County coinciding with increased population growth and the need for new residential, commercial, and industrial development. Therefore, the 31 newly recorded historic structures and resource groups are considered ineligible for listing in the National Register, either individually or as part of a historic district.

The three bridges identified during this study (8DA19154-8DA19156) are common bridge types, reinforced concrete slab and prestressed concrete multi-beam, and meet the criteria for the 2012 Program Comment issued by the ACHP, Streamlining Section 106 Review for Actions Affecting Post-1945 Concrete and Steel Bridges (ACHP 2012). All three bridges are exempt from Section 106 consideration and were not evaluated for eligibility for the National Register, however they were recorded and documented in the FMSF.

FMSF forms for all newly recorded historic resources and forms for resources that were updated as part of this study are included in Appendix A. A survey log is included in Appendix C.

Unanticipated Finds and Post-Review Discoveries

Although unlikely, should construction activities uncover any archaeological material, it is recommended that activity in the immediate area be stopped while a professional archaeologist evaluates the material. If human remains are found during construction or maintenance activities, Chapter 872.05, *F.S.* applies and the treatment of human remains will conform to Chapter 3 of the *FDOT CRM Handbook*, Section 7-1.6 of the *FDOT's Standard Specifications for Road and Bridge Construction*, which require that all work cease immediately in the area of the human remains. Chapter 872.05 states that, when human remains are encountered, all activity that might disturb the remains shall cease and may not resume until authorized by the District Medical Examiner or the State Archaeologist. The District Medical Examiner has jurisdiction if the remains are less than 75 years old or if the remains are involved in a criminal investigation. The State Archaeologist may assume jurisdiction if the remains are 75 years of age or more.

Curation

FMSF forms (Appendix A) and photographs are curated at the FMSF, along with a copy of this report. A survey log sheet is included in Appendix C. Field notes and other pertinent project records are temporarily stored at Janus Research until their transfer to the FDOT storage facilities.

REFERENCES

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APPENDIX A:
FLORIDA MASTER SITE FILE FORMS

☐ Original
☒ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA12382**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 38

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Superior Sheds Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☒ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number 9660 Direction NW Street Name 77th Street Type Avenue Suffix Direction _____
 Cross Streets (nearest / between) West Side NW 77th Avenue South of NW 98th Street
 USGS 7.5 Map Name HIALEAH USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Hialeah Gardens In City Limits? ☒ yes ☐ no ☐ unknown County Dade
 Township 53S Range 40E Section 3 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 27-3003-001-0641 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567781 Northing 2860494
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1957 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Private Residence (House/Cottage/Ca From (year): 1957 To (year): 1985
 Current Use Commercial From (year): 1985 To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1-1-1985 Nature Replaced windows/doors; openings moved
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature None observed
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 1
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Flat 2. Gable 3. _____
 Roof Material(s) 1. Built-up 2. Composition shingles 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____

Windows (types, materials, etc.)

Metal single-hung-sash six-over-six; metal fixed 24-light

Distinguishing Architectural Features (exterior or interior ornaments)

None observed

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

c1989 metal skeleton outbuilding SW corner of parcel w/ metal gable roof and metal panel ext; several sheds for sale on parcel

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)

DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete 2. _____ 3. _____Foundation Type(s): 1. Slab 2. _____Foundation Material(s): 1. Concrete, Generic 2. _____**Main Entrance (stylistic details)**

Multi-light metal and glass door on E facade

Porch Descriptions (types, locations, roof types, etc.)

None observed

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

Masonry Vernacular commercial building was originally built as a single-family residence and observed on aerials used as commercial property c1985. The structure has no additions, but several alts including replaced windows and non-historic fenestration

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> FMSF record search (sites/surveys) | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits | <input type="checkbox"/> Sanborn maps |
| <input type="checkbox"/> FL State Archives/photo collection | <input type="checkbox"/> city directory | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps |
| <input checked="" type="checkbox"/> property appraiser / tax records | <input type="checkbox"/> newspaper files | <input type="checkbox"/> neighbor interview | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS) | <input type="checkbox"/> historic photos | <input type="checkbox"/> interior inspection | <input type="checkbox"/> HABS/HAER record search |
| <input checked="" type="checkbox"/> other methods (describe) <u>Aerial photography</u> | | | |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

"Abolish Our City", The Miami News, March 13, 1963, Page 26; "Advertisement: Rainbow Marine '85 Clearance Sale", The Miami Herald, May 2, 1986, Page 67

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually?

☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

This Masonry Vernacular building exhibits a common style found in South Florida, several non-historic alts including changes in fenestration and replaced windows/materials. Therefore, it is still considered to be National Register-ineligible.

Area(s) of Historical Significance (see *National Register Bulletin* 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

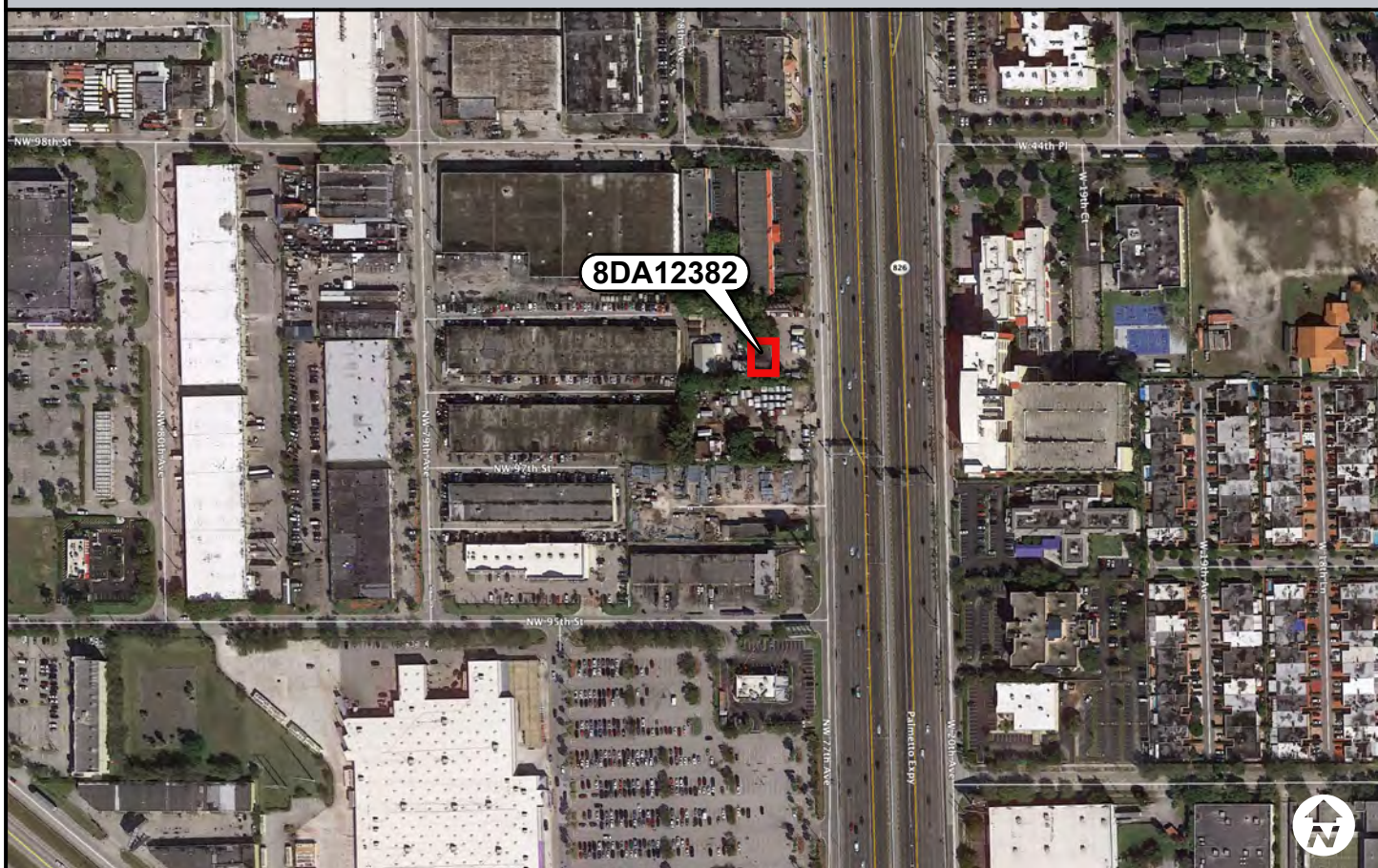
- | | |
|----------------------------------|--|
| Document type <u>Field notes</u> | Maintaining organization <u>Janus Research</u> |
| 1) Document description _____ | File or accession #'s _____ |
| Document type <u>Field maps</u> | Maintaining organization <u>Janus Research</u> |
| 2) Document description _____ | File or accession #'s _____ |

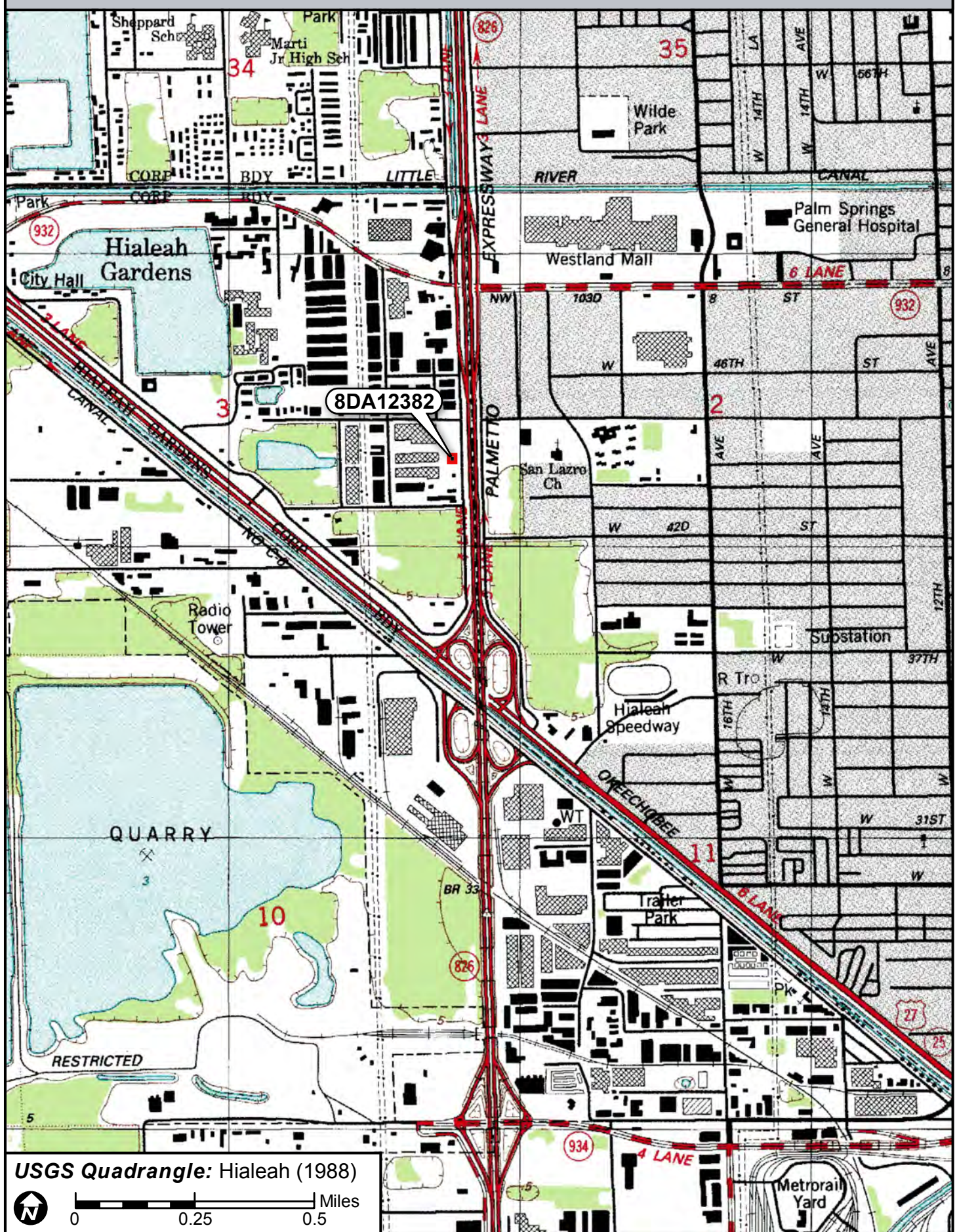
RECORDER INFORMATIONRecorder Name Janus ResearchAffiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com

(address / phone / fax / e-mail)

Required Attachments**① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).

Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.





☐ Original
☒ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA12383**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 37

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) The Shed Depot Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☒ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Street Number 9600 Direction NW Street Name 77th Street Type Avenue Suffix Direction _____
 Address: _____
 Cross Streets (nearest / between) West Side NW 77th Avenue South of NW 98th Street
 USGS 7.5 Map Name HIALEAH USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Hialeah Gardens In City Limits? ☒ yes ☐ no ☐ unknown County Dade
 Township 53S Range 40E Section 3 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 27-3003-001-0642 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567785 Northing 2860441
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1959 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Private Residence (House/Cottage/Ca From (year): 1959 To (year): 1975
 Current Use Commercial From (year): 1975 To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1-1-1990 Nature 1 replaced window observed
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature None observed
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Frame Vernacular Exterior Plan Rectangular Number of Stories 2
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Flat 2. _____ 3. _____
 Roof Material(s) 1. Built-up 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____

Windows (types, materials, etc.)

Aluminum awning two-light and three-light windows, some paired; vinyl single-hung-sash one-over-one

Distinguishing Architectural Features (exterior or interior ornaments)

Rafter tails extend from roof

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

No permanent outbuildings observed; parcel used as shed sales commercial business and contains several mature trees and sheds which obscure view

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)

DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Wood frame 2. _____ 3. _____Foundation Type(s): 1. Continuous 2. _____Foundation Material(s): 1. Concrete Block 2. _____**Main Entrance (stylistic details)**

Main entrance was obscured and not visible to surveyors

Porch Descriptions (types, locations, roof types, etc.)

None observed

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

This Frame Vernacular commercial building was originally built as a single-family residence and first observed on aerials used as commercial property c1975. The structure exhibits few visible alterations but is obscured by vegetation & sheds on property

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> FMSF record search (sites/surveys) | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits | <input type="checkbox"/> Sanborn maps |
| <input type="checkbox"/> FL State Archives/photo collection | <input type="checkbox"/> city directory | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps |
| <input checked="" type="checkbox"/> property appraiser / tax records | <input type="checkbox"/> newspaper files | <input type="checkbox"/> neighbor interview | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS) | <input type="checkbox"/> historic photos | <input type="checkbox"/> interior inspection | <input type="checkbox"/> HABS/HAER record search |
| <input checked="" type="checkbox"/> other methods (describe) <u>Aerial photography</u> | | | |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually?

☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

This Frame Vernacular commercial building exhibits a common style found in South Florida and lacks known historical associations. Therefore, it is considered ineligible for listing in the National Register.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- | | |
|----------------------------------|--|
| Document type <u>Field notes</u> | Maintaining organization <u>Janus Research</u> |
| 1) Document description _____ | File or accession #'s _____ |
| Document type <u>Field maps</u> | Maintaining organization <u>Janus Research</u> |
| 2) Document description _____ | File or accession #'s _____ |

RECORDER INFORMATIONRecorder Name Janus ResearchAffiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com

(address / phone / fax / e-mail)

Required Attachments**① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).

Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

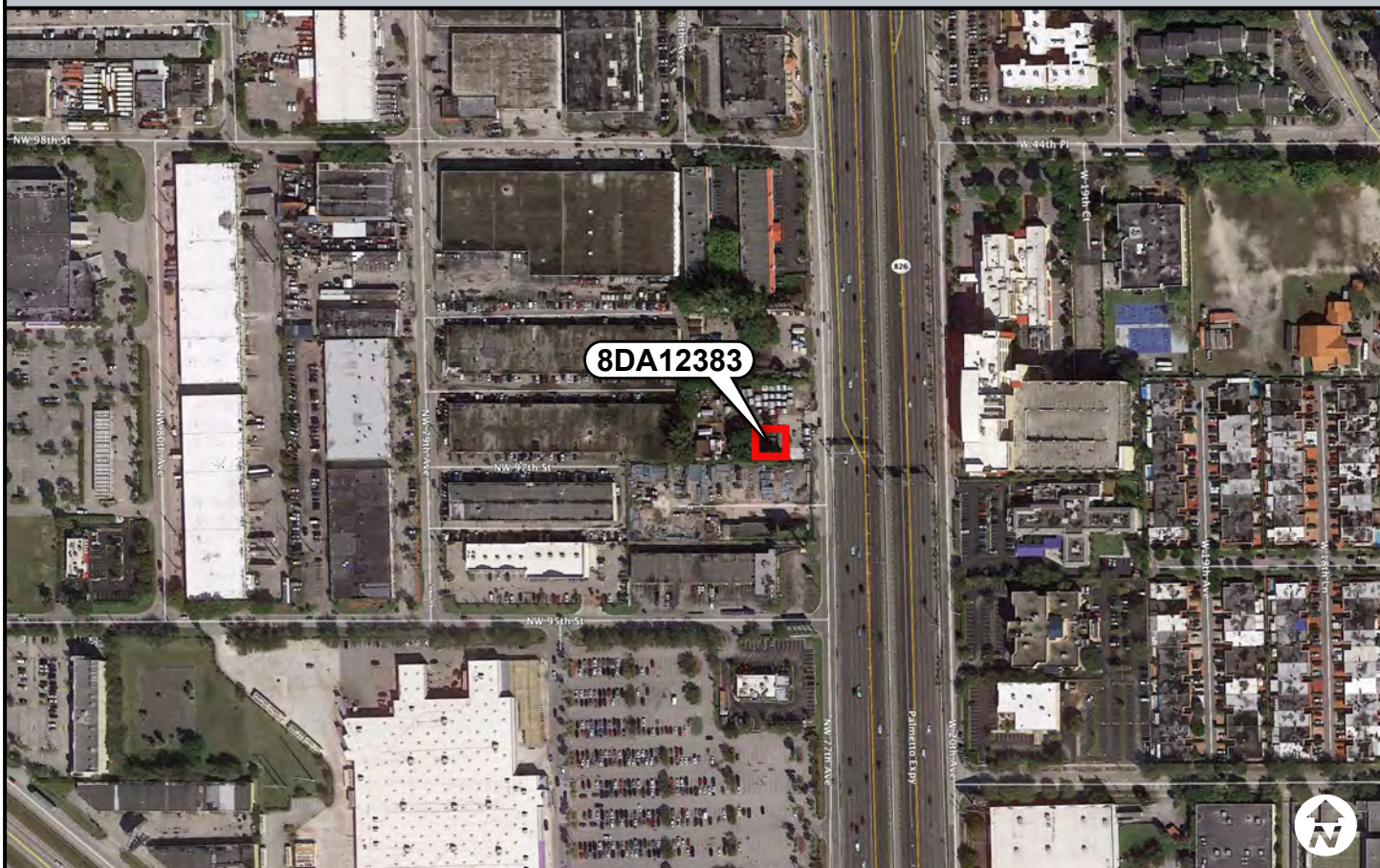
PHOTOGRAPH

8DA12383

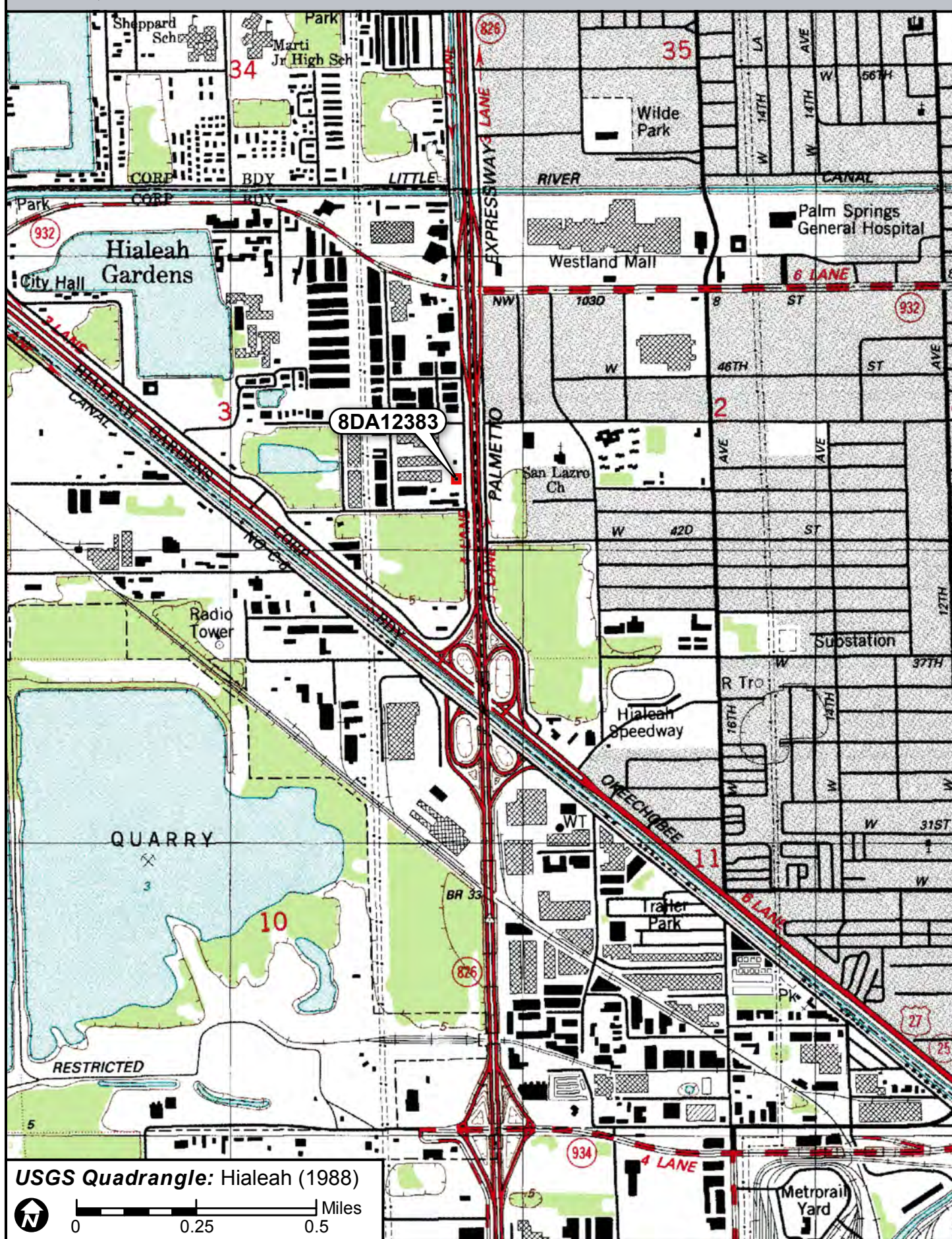


SKETCH MAP

8DA12383







☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19117**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 1

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Sunniland Roofing Supplies Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☒ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number 7500 Direction NW Street Name 74th Street Type Avenue Suffix Direction _____
 Cross Streets (nearest / between) NW corner NW 74th Avenue at NW 76th Street
 USGS 7.5 Map Name HIALEAH USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Medley In City Limits? ☒ yes ☐ no ☐ unknown County Dade
 Township 53S Range 40E Section 11 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 22-3011-002-0740 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567984 Northing 2858460
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1966 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Industrial From (year): 1966 To (year): _____
 Current Use Industrial From (year): _____ To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☐ yes ☒ no ☐ unknown Date: _____ Nature None observed
 Additions: ☒ yes ☐ no ☐ unknown Date: 1-1-1973 Nature SW add w/gable; c1980 SE add w/gable
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Industrial Vernacular Exterior Plan Irregular Number of Stories 1
 Exterior Fabric(s) 1. Stucco 2. Aluminum 3. _____
 Roof Type(s) 1. Flat 2. Gable 3. _____
 Roof Material(s) 1. Built-up 2. Sheet metal:5V crimp 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____

Windows (types, materials, etc.)

None observed

Distinguishing Architectural Features (exterior or interior ornaments)

3 commercial style metal garage doors

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

Chain-link metal fence encloses property

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)

DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. Metal skeleton 3. _____Foundation Type(s): 1. Slab 2. _____Foundation Material(s): 1. Concrete, Generic 2. _____**Main Entrance (stylistic details)**

Obscured from surveyor view

Porch Descriptions (types, locations, roof types, etc.)

None observed

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

Industrial Vernacular structure w/ 3 large additions: 1. SW corner c1973 w/ metal gable roof, 2. SE corner c1980 w/ metal gable roof, 3. NE c1991 add w/ gable roof; loading dock along E facade w/ garage door

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**☐ FMSF record search (sites/surveys)☒ library research☐ building permits☐ Sanborn maps☐ FL State Archives/photo collection☐ city directory☐ occupant/owner interview☐ plat maps☒ property appraiser / tax records☐ newspaper files☐ neighbor interview☐ Public Lands Survey (DEP)☒ cultural resource survey (CRAS)☐ historic photos☐ interior inspection☐ HABS/HAER record search☒ other methods (describe) Aerial photography

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually?

☐ yes☒ no☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☐ yes☒ no☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

This Industrial Vernacular structure exhibits a common architectural style found in South Florida and three large additions. Due to the additions and a lack of known historical associations it is considered ineligible for listing in the National Register

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

Document type Field notesMaintaining organization Janus Research

1) Document description _____

File or accession #'s _____

Document type Field mapsMaintaining organization Janus Research

2) Document description _____

File or accession #'s _____

RECORDER INFORMATIONRecorder Name Janus ResearchAffiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com

(address / phone / fax / e-mail)

Required Attachments**① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital **AND** hard copy format (plain paper grayscale acceptable).

Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH

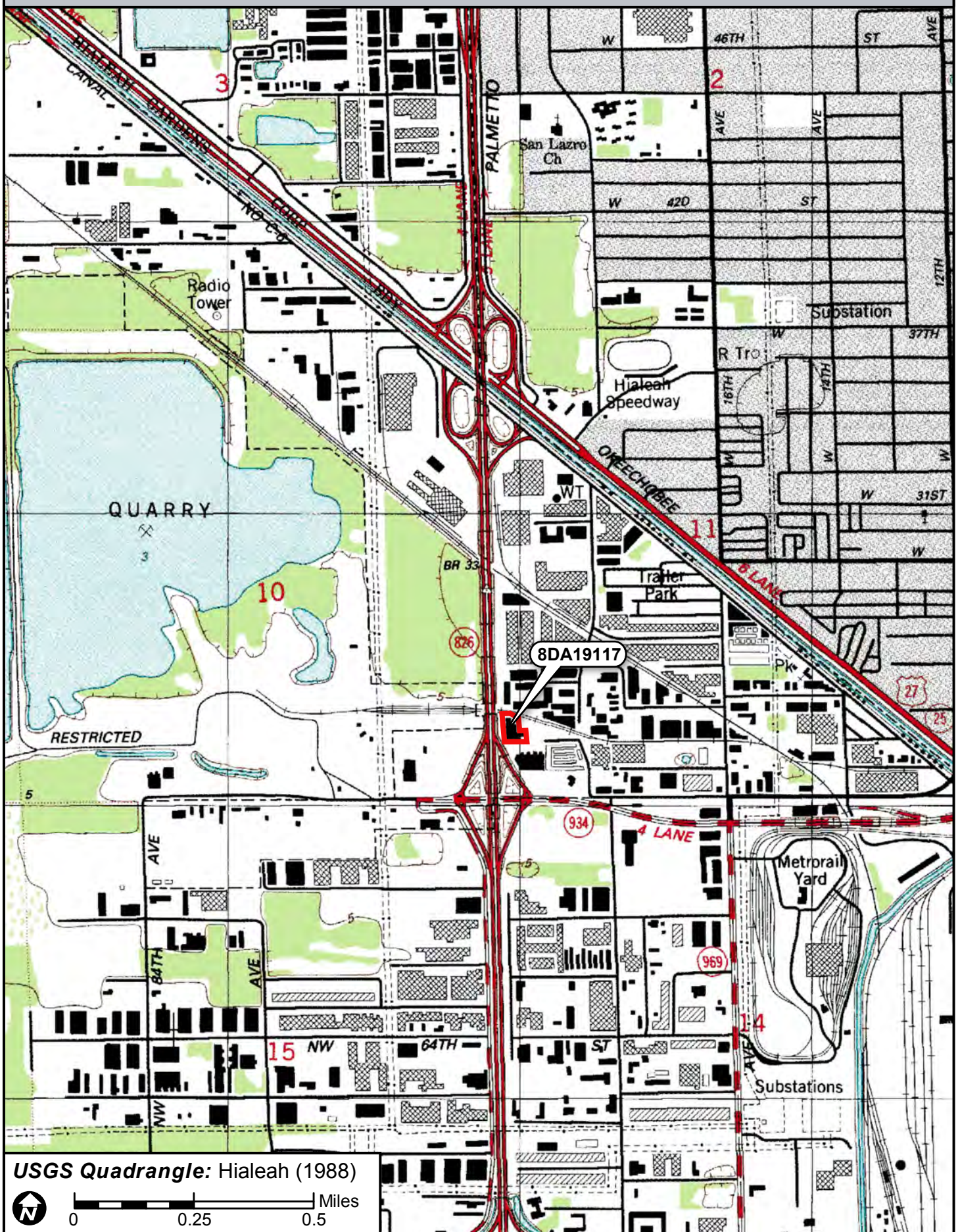
8DA19117



SKETCH MAP

8DA19117





☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19118**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 2

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Medley Industrial Commerce Center Bldg A Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☒ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number 7704-7740 Direction NW Street Name 75th Street Type Avenue Suffix Direction _____
 Cross Streets (nearest / between) SW corner 77th Terrace at NW 75th Avenue
 USGS 7.5 Map Name HIALEAH USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Medley In City Limits? ☒ yes ☐ no ☐ unknown County Dade
 Township 53S Range 40E Section 11 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 22-3011-002-0750 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567967 Northing 2858577
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1969 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Industrial From (year): 1969 To (year): _____
 Current Use Industrial From (year): _____ To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1-1-2010 Nature Replcd doors/entry awnings/window vents
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature None observed
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Industrial Vernacular Exterior Plan Rectangular Number of Stories 1
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Flat 2. _____ 3. _____
 Roof Material(s) 1. Built-up 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____

Windows (types, materials, etc.)
None observed; window openings filled with fixed metal vents

Distinguishing Architectural Features (exterior or interior ornaments)
Metal awning over each entry door (10 in total) attached with two metal arms

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)
No outbuildings observed; historic utility room attached to S facade; building is part of industrial complex resource group (8DA19147) of 3 buildings

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date _____	Init. _____		
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date _____			
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)				

DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. _____ 3. _____Foundation Type(s): 1. Slab 2. _____Foundation Material(s): 1. Concrete, Generic 2. _____**Main Entrance (stylistic details)**

Building includes 10 commercial bays each with a metal panel door under a fixed metal awning and commercial roll-up door

Porch Descriptions (types, locations, roof types, etc.)

None observed

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

Industrial Vernacular structure divided into 10 commercial bays, all accessed via East facade. Each commercial block includes warehouse space and small office accessed by garage door or entry. Part of resource group (8DA19147) w/ 2 similar structures.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> FMSF record search (sites/surveys) | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits | <input type="checkbox"/> Sanborn maps |
| <input type="checkbox"/> FL State Archives/photo collection | <input type="checkbox"/> city directory | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps |
| <input checked="" type="checkbox"/> property appraiser / tax records | <input type="checkbox"/> newspaper files | <input type="checkbox"/> neighbor interview | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS) | <input type="checkbox"/> historic photos | <input type="checkbox"/> interior inspection | <input type="checkbox"/> HABS/HAER record search |
| <input checked="" type="checkbox"/> other methods (describe) <u>Aerial photography</u> | | | |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCEAppears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient informationAppears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

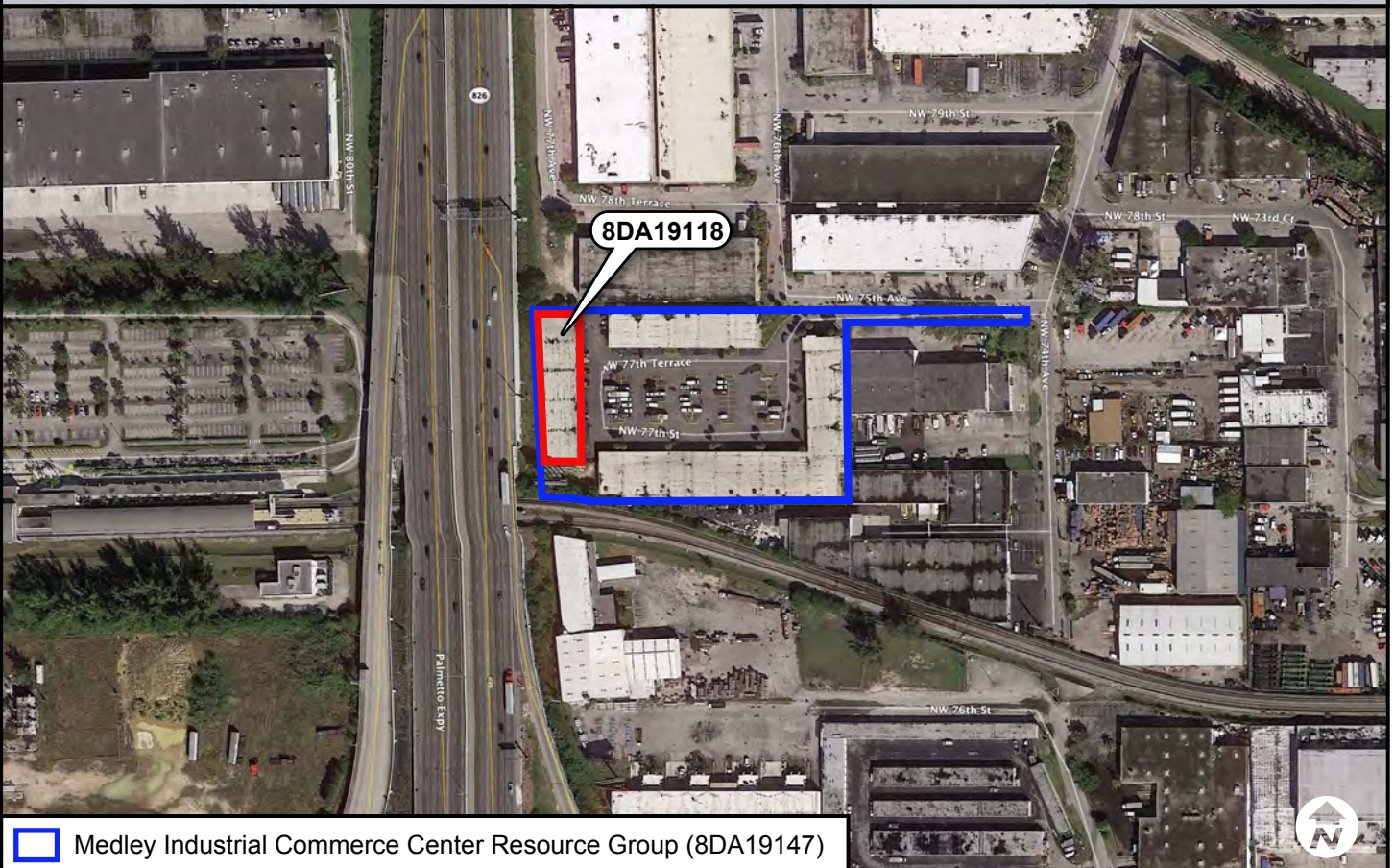
This Industrial Vernacular structure exhibits a common architectural style found in South Florida and lacks known historical associations. Therefore, it is considered ineligible for listing in the National Register.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____
DOCUMENTATION

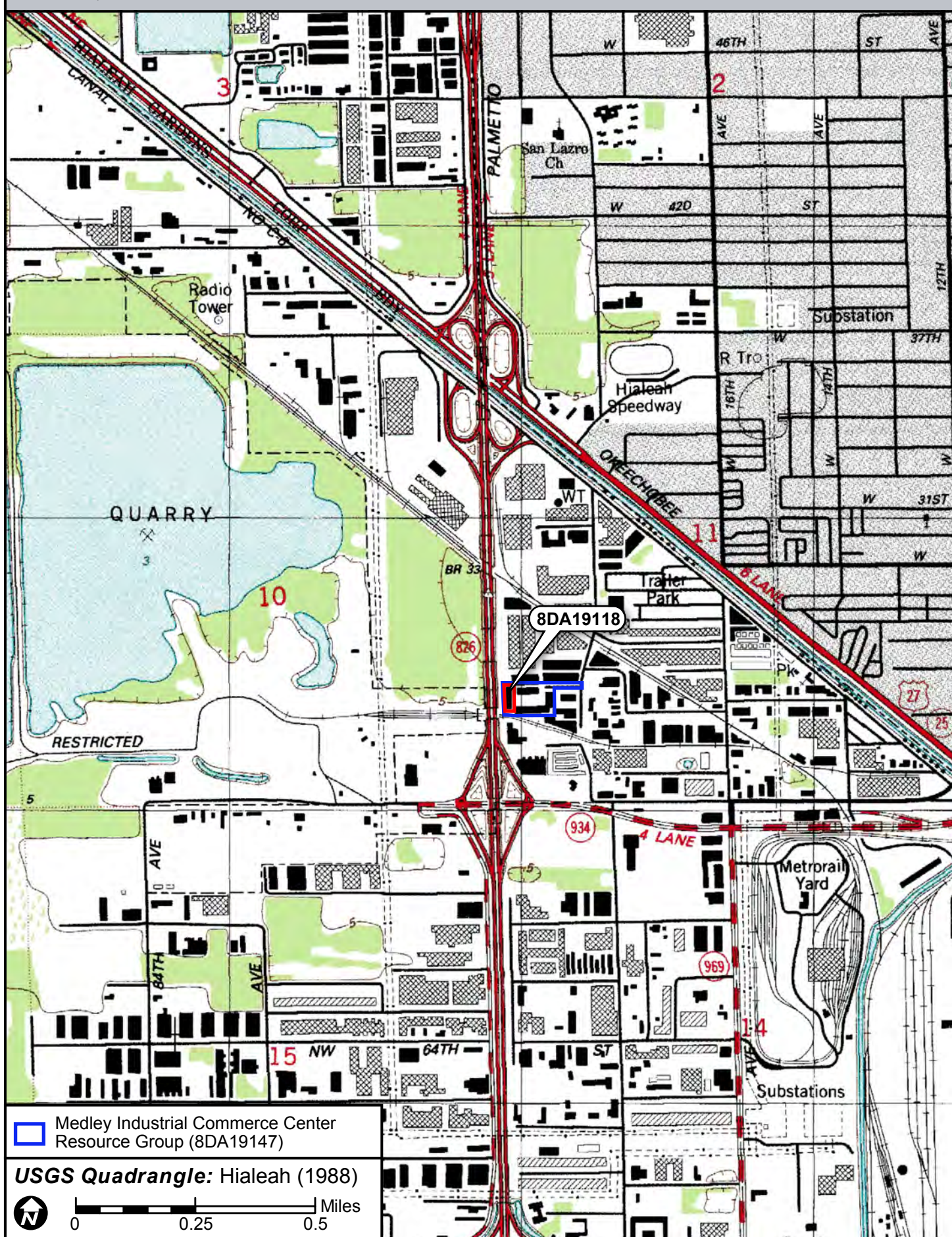
Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- | | |
|----------------------------------|--|
| Document type <u>Field notes</u> | Maintaining organization <u>Janus Research</u> |
| 1) Document description _____ | File or accession #'s _____ |
| Document type <u>Field maps</u> | Maintaining organization <u>Janus Research</u> |
| 2) Document description _____ | File or accession #'s _____ |

RECORDER INFORMATIONRecorder Name Janus Research Affiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com
(address / phone / fax / e-mail)**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital **AND** hard copy format (plain paper grayscale acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.







☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19119**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 27

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Medley Industrial Commerce Center Bldg B Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☒ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number 7580-7735 Direction NW Street Name 77th Street Type Terrace Suffix Direction _____
 Cross Streets (nearest / between) SW corner 77th Terrace at NW 75th Avenue
 USGS 7.5 Map Name HIALEAH USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Medley In City Limits? ☒ yes ☐ no ☐ unknown County Dade
 Township 53S Range 40E Section 11 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 22-3011-002-0750 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 568052 Northing 2858536
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1969 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Industrial From (year): 1971 To (year): _____
 Current Use Industrial From (year): _____ To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1-1-2010 Nature Replcd doors&windows/entry awnings added
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature None observed
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Industrial Vernacular Exterior Plan L-shaped Number of Stories 2
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Flat 2. _____ 3. _____
 Roof Material(s) 1. Built-up 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____

Windows (types, materials, etc.)

Fixed metal 1-light windows, some paired

Distinguishing Architectural Features (exterior or interior ornaments)

Metal awning over each entry door (13 in total) attached with two metal arms

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

No outbuildings observed; building is 1 of 3 comprising industrial complex resource group (8DA19147), all 3 buildings feature several bays/storefronts

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____

☐ Owner Objection

SHPO – Appears to meet criteria for NR listing: ☐ yes ☐ no ☐ insufficient info

KEEPER – Determined eligible: ☐ yes ☐ no

NR Criteria for Evaluation: ☐ a ☐ b ☐ c ☐ d (see *National Register Bulletin* 15, p. 2)

Date _____ Init. _____

Date _____

DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. _____ 3. _____Foundation Type(s): 1. Slab 2. _____Foundation Material(s): 1. Concrete, Generic 2. _____**Main Entrance (stylistic details)**

Features 13 comm. bays with metal panel door under metal awning & commercial roll-up door; 2nd floor office NE corner

Porch Descriptions (types, locations, roof types, etc.)

Second story stairwell and entry porch in NE corner of building, exterior staircase leads to office and features open porch with metal railings under flat roof

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

Industrial Vernacular structure with 13 ground floor commercial bays and 1 office in NE corner. Each commercial block includes warehouse space and small office accessed by garage door or entry. Part of resource group (8DA19147) w/ 2 similar structures.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**☐ FMSF record search (sites/surveys)☒ library research☐ building permits☐ Sanborn maps☐ FL State Archives/photo collection☐ city directory☐ occupant/owner interview☐ plat maps☒ property appraiser / tax records☐ newspaper files☐ neighbor interview☐ Public Lands Survey (DEP)☒ cultural resource survey (CRAS)☐ historic photos☐ interior inspection☐ HABS/HAER record search☒ other methods (describe) Aerial photography

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually?

☐ yes☒ no☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☐ yes☒ no☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

This Industrial Vernacular structure exhibits a common architectural style found in South Florida and lacks known historical associations. Therefore, it is considered ineligible for listing in the National Register.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notesMaintaining organization Janus Research

Document description _____

File or accession #'s _____

2) Document type Field mapsMaintaining organization Janus Research

Document description _____

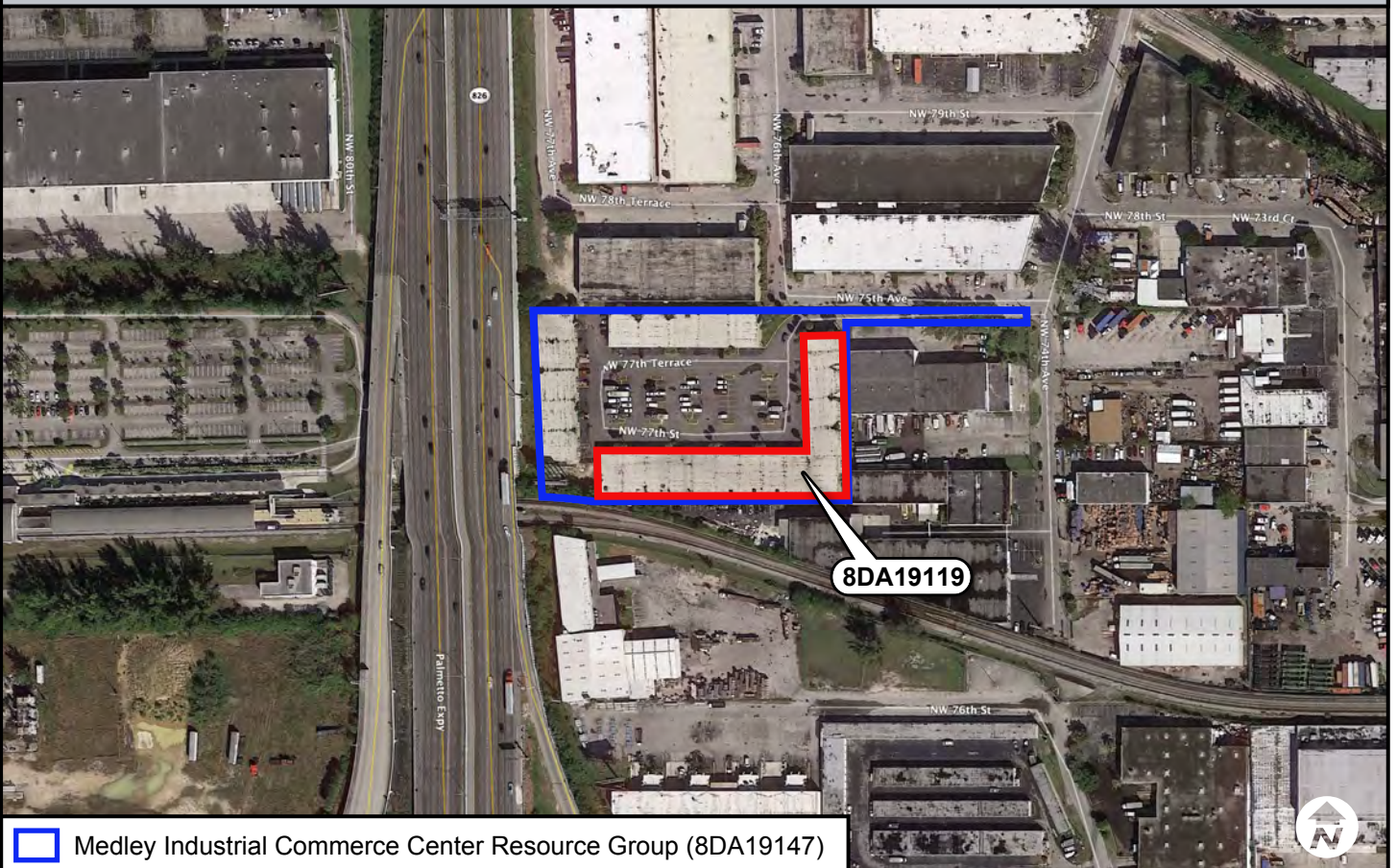
File or accession #'s _____

RECORDER INFORMATIONRecorder Name Janus ResearchAffiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com

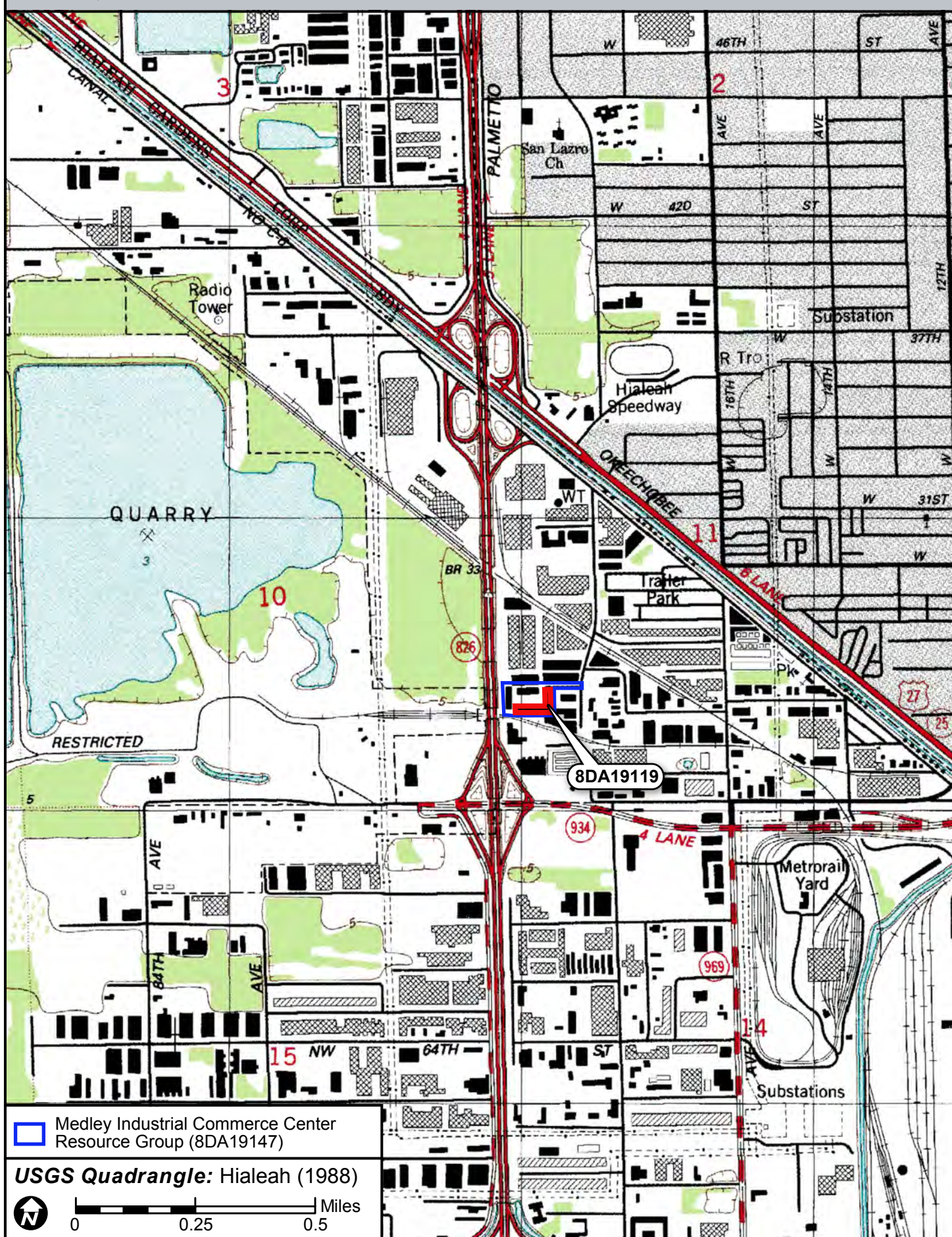
(address / phone / fax / e-mail)

Required Attachments**① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).

Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.







☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19120**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 3

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 8150 NW 76th Avenue Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☒ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number 8150 Direction NW Street Name 76th Street Type Avenue Suffix Direction _____
 Cross Streets (nearest / between) SW corner 77th Terrace at NW 75th Avenue
 USGS 7.5 Map Name HIALEAH USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Medley In City Limits? ☒ yes ☐ no ☐ unknown County Dade
 Township 53S Range 40E Section 11 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 22-3011-002-0490 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567992 Northing 2859148
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1968 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Industrial From (year): 1968 To (year): _____
 Current Use Industrial From (year): _____ To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1-1-1990 Nature Replaced doors and exterior material
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature None observed
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Industrial Vernacular Exterior Plan Rectangular Number of Stories 1
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Flat 2. _____ 3. _____
 Roof Material(s) 1. Built-up 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____

Windows (types, materials, etc.)

Metal single-hung-sash two-over-two, some paired; metal fixed one-light

Distinguishing Architectural Features (exterior or interior ornaments)

Stucco eyebrow ledge over main entry, SE corner; metal awning over garage bays on east facade

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

No outbuildings observed

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)

DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. _____ 3. _____Foundation Type(s): 1. Continuous 2. _____Foundation Material(s): 1. Concrete Block 2. _____**Main Entrance (stylistic details)**

SE corner double commercial style glass and metal door with small staircase and accessibility ramp

Porch Descriptions (types, locations, roof types, etc.)

Small entry porch in SE corner, open with 2 stucco columns supporting flat roof under ornamental eyebrow ledge

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

Industrial Vernacular structure with 16 bays on E facade and 3 bays on N facade under metal awning with loading docks; office space is located in SE corner of structure and accessed via main entry; no additions observed on historic aerial photos

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**☐ FMSF record search (sites/surveys)☒ library research☐ building permits☐ Sanborn maps☐ FL State Archives/photo collection☐ city directory☐ occupant/owner interview☐ plat maps☒ property appraiser / tax records☐ newspaper files☐ neighbor interview☐ Public Lands Survey (DEP)☒ cultural resource survey (CRAS)☐ historic photos☐ interior inspection☐ HABS/HAER record search☒ other methods (describe) Aerial photography

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually?

☐ yes☒ no☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☐ yes☒ no☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

This Industrial Vernacular structure exhibits a common style found in South Florida, features non-historic alterations to exterior materials, and lacks historical associations. Therefore, it is considered ineligible for listing in the National Register.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____

2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notesMaintaining organization Janus Research

Document description _____

File or accession #'s _____

2) Document type Field mapsMaintaining organization Janus Research

Document description _____

File or accession #'s _____

RECORDER INFORMATIONRecorder Name Janus ResearchAffiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com

(address / phone / fax / e-mail)

Required Attachments**① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital **AND** hard copy format (plain paper grayscale acceptable).

Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



PHOTOGRAPH

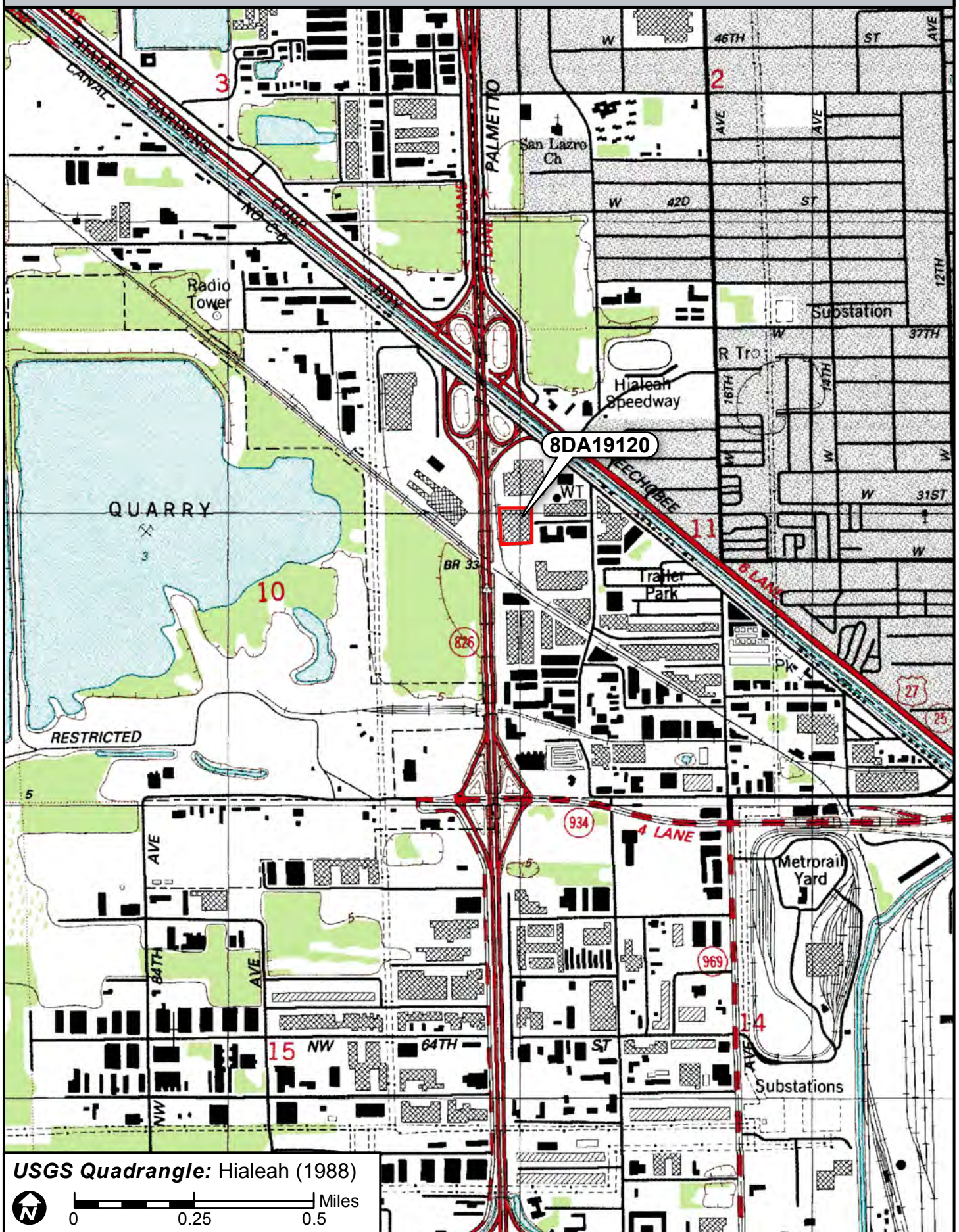
8DA19120



PHOTOGRAPH

8DA19120





USGS Quadrangle: Hialeah (1988)



0 0.25 0.5 Miles

☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19121**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 4

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 1950 W 49th Street Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☒ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number 1950 Direction W Street Name 49th Street Type Street Suffix Direction _____
 Cross Streets (nearest / between) SW corner of W 49th Street at W 19th Court
 USGS 7.5 Map Name HIALEAH USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Hialeah In City Limits? ☒ yes ☐ no ☐ unknown County Dade
 Township 53S Range 40E Section 2 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 04-3002-020-0010 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567948 Northing 2860953
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1970 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Hotel From (year): 1970 To (year): _____
 Current Use Hotel From (year): _____ To (year): 2020
 Other Use Vacant From (year): 2020 To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1-1-1990 Nature Replaced doors and windows
 Additions: ☒ yes ☐ no ☐ unknown Date: 1-1-1980 Nature 2 c1980 adds in SW corner, flat roofs
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.)
Operated as Holiday Inn c1970-c1990; Ramada Inn c1990-c2020; purchased by The Estate Companies in Aug 2020, observed renovation work during survey

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan L-shaped Number of Stories 4
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Flat 2. _____ 3. _____
 Roof Material(s) 1. Built-up 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. Other 2. Pent roof structure

Windows (types, materials, etc.)

Metal fixed one-light floor to ceiling windows in hotel rooms, tripartite; Metal fixed one-light on ground floor in lobby/office in NE corner

Distinguishing Architectural Features (exterior or interior ornaments)

Metal pent roof structure at roof line, added c 1980

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

Large 4-story block of hotel rooms constructed c1973 S of main building; square plan, CB structure w/ same windows, doors, pent roof as main building

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____ KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____ NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)	
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DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. _____ 3. _____Foundation Type(s): 1. Slab 2. _____Foundation Material(s): 1. Concrete, Generic 2. _____**Main Entrance (stylistic details)**

Metal/glass automatic sliding doors on N facade under entrance canopy

Porch Descriptions (types, locations, roof types, etc.)

Individual balconies/porch on every hotel room; open porch framed by extension of structural wall, w/ metal railing accessed by sliding glass door from room

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

Masonry Vernacular 4-story hotel w/ L-shaped main bldg w/ offices/event space on N facade ground level, pool on W side, and c1973 square bldg to S of main bldg, all enclosed in property fence. Sold Aug 2020 & observed renovation work during survey.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> FMSF record search (sites/surveys) | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits | <input type="checkbox"/> Sanborn maps |
| <input type="checkbox"/> FL State Archives/photo collection | <input type="checkbox"/> city directory | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps |
| <input checked="" type="checkbox"/> property appraiser / tax records | <input type="checkbox"/> newspaper files | <input type="checkbox"/> neighbor interview | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS) | <input type="checkbox"/> historic photos | <input type="checkbox"/> interior inspection | <input type="checkbox"/> HABS/HAER record search |
| <input checked="" type="checkbox"/> other methods (describe) <u>Aerial photography</u> | | | |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

"Job listing", The Miami Herald, July 24, 1972, Pg69; "Event ad", The Miami Herald, November 29, 1987, Pg806; "Job listing", The Miami Herald, March 27, 1993, Pg94; "En plena crisis del coronavirus", Rebecca San Juan, El Nuevo Herald, August 12, 2020, PgA3

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually?

☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☐ yes ☒ no ☐ insufficient information**Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)**

This Masonry Vernacular hotel exhibits a common style found in South Florida, features non-historic alterations, and lacks historical associations. Therefore, it is considered ineligible for listing in the National Register.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION**Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents**

1) Document type Field notes Maintaining organization Janus Research
 Document description _____ File or accession #'s _____

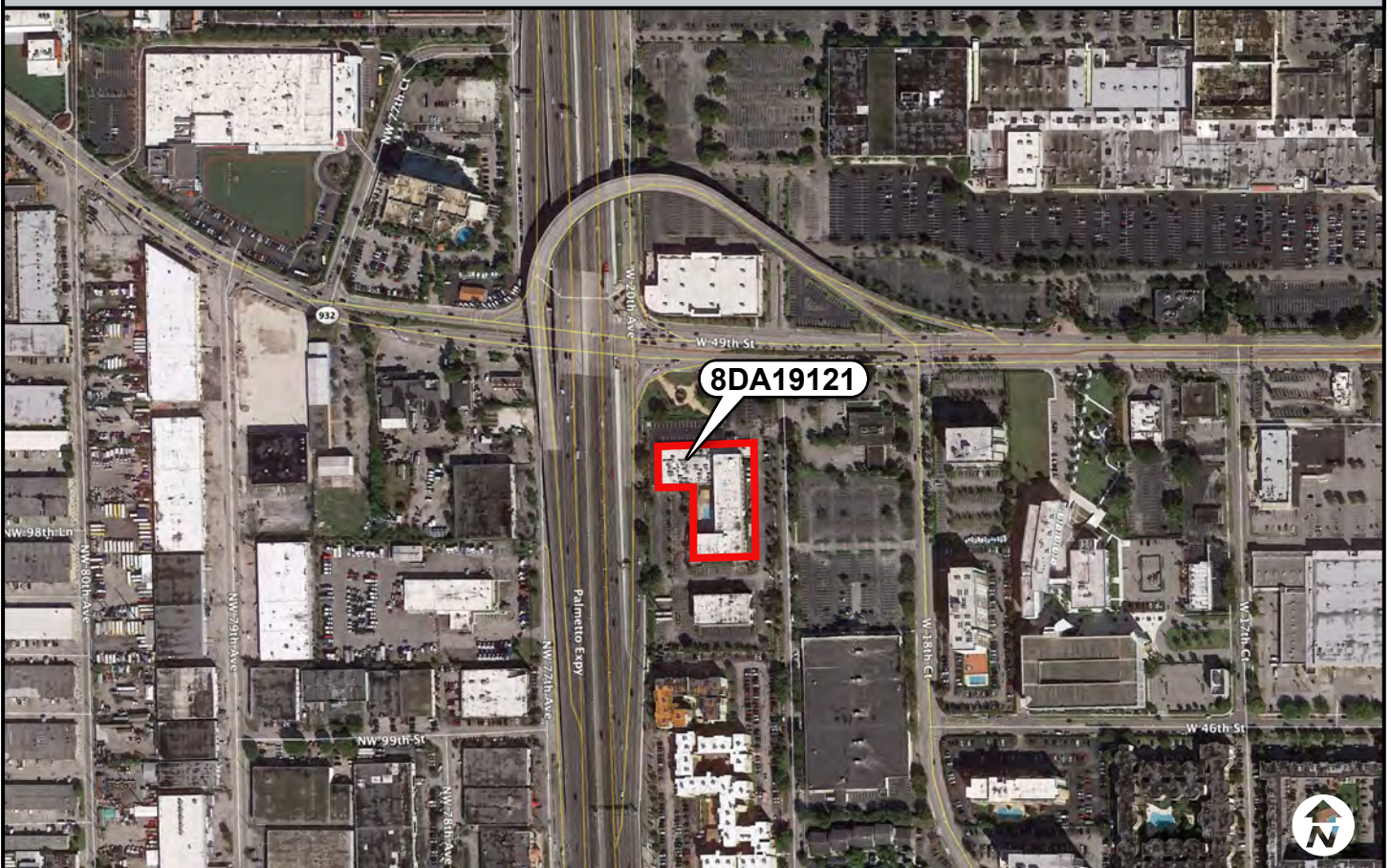
2) Document type Field maps Maintaining organization Janus Research
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name Janus Research Affiliation Janus Research
 Recorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com
 (address / phone / fax / e-mail)

Required Attachments**① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**

When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



PHOTOGRAPH

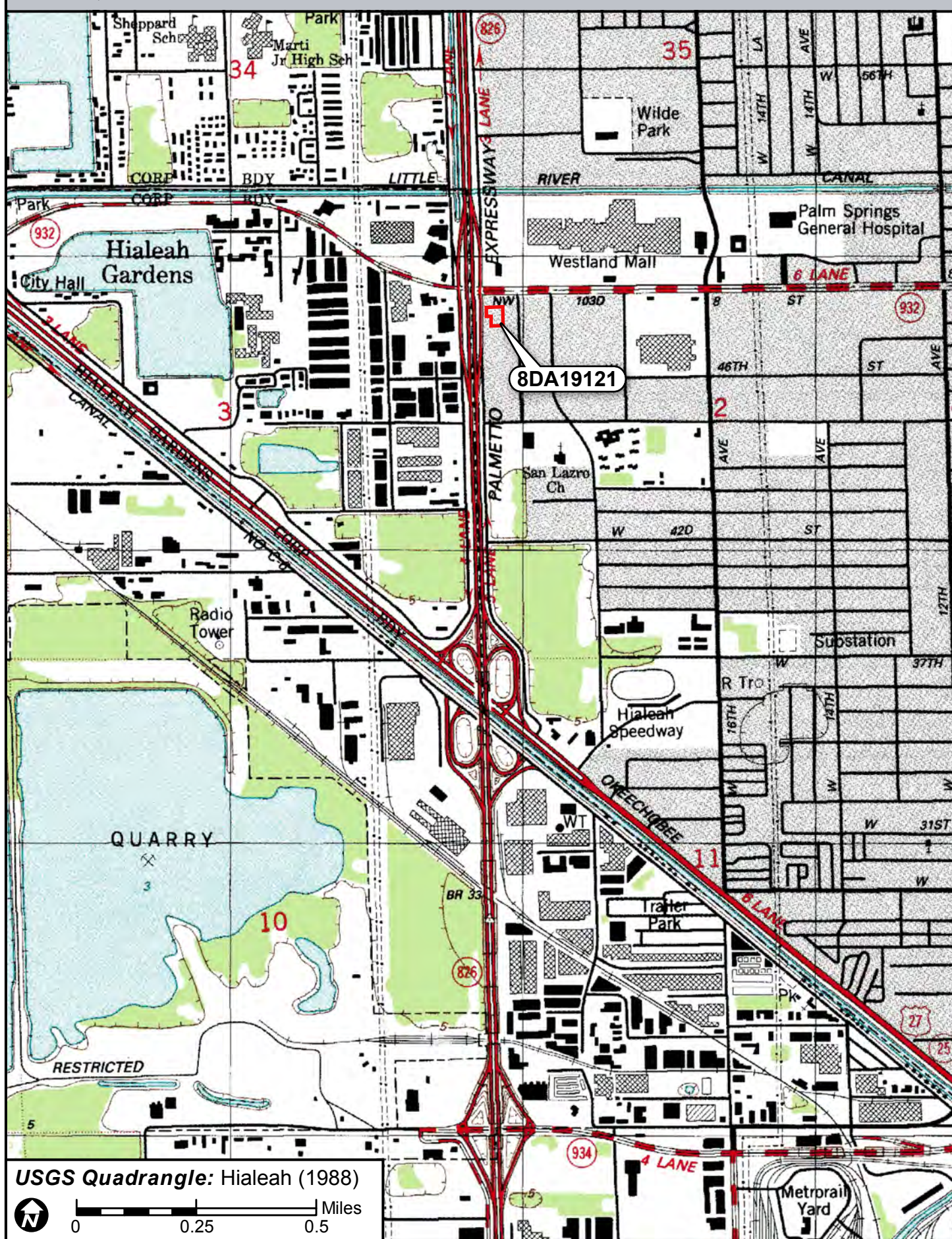
8DA19121



PHOTOGRAPH

8DA19121





☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19122**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 6

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Beauty Academy of South Florida Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☒ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: 9800 NW 77th Avenue
 Cross Streets (nearest / between) NW corner of NW 77th Avenue at NW 98th Street
 USGS 7.5 Map Name HIALEAH USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Hialeah Gardens In City Limits? ☒ yes ☐ no ☐ unknown County Dade
 Township 53S Range 40E Section 3 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 27-3003-001-0091 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567774 Northing 2860662
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1967 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Commercial From (year): 1967 To (year): 2004
 Current Use College/University/School From (year): 2004 To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1-1-2005 Nature Replcd doors/windows; ext ornament added
 Additions: ☒ yes ☐ no ☐ unknown Date: 1-1-1994 Nature 2-story add on S facade
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.)
Has housed Beauty Academy of South Florida since 2004; previous uses included various commercial businesses

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 2
 Exterior Fabric(s) 1. Stucco 2. Artbrick, artstone 3. _____
 Roof Type(s) 1. Flat 2. _____ 3. _____
 Roof Material(s) 1. Built-up 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. Other 2. Decorative cornice

Windows (types, materials, etc.)
Metal fixed three-light, some arched; metal fixed two-light

Distinguishing Architectural Features (exterior or interior ornaments)
Decorative cornice detail added c. 2005, barrel tile roof over entry, pilasters and square columns w/ scored stucco

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)
None observed; metal property fence and tiled driveway

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)

DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. _____ 3. _____Foundation Type(s): 1. Continuous 2. _____Foundation Material(s): 1. Concrete Block 2. _____**Main Entrance (stylistic details)**

Metal/glass commercial style double door on E facade under entry canopy capped with barrel tiles

Porch Descriptions (types, locations, roof types, etc.)

Recessed entry porch on E facade w/ stucco railing accessed via short staircase, located beneath entry canopy

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

A 2-story Masonry Vernacular building used as school for beautician certification training with c1994 addition on S facade. Windows/doors replaced c2005 and exterior ornament added including dec. cornice and scored stucco pilasters & columns.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> FMSF record search (sites/surveys) | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits | <input type="checkbox"/> Sanborn maps |
| <input type="checkbox"/> FL State Archives/photo collection | <input type="checkbox"/> city directory | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps |
| <input checked="" type="checkbox"/> property appraiser / tax records | <input type="checkbox"/> newspaper files | <input type="checkbox"/> neighbor interview | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS) | <input type="checkbox"/> historic photos | <input type="checkbox"/> interior inspection | <input type="checkbox"/> HABS/HAER record search |
| <input checked="" type="checkbox"/> other methods (describe) <u>Aerial photography</u> | | | |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)<http://basf.edu/wp-content/uploads/2019/09/School-Catalog-January-2019-Effective-02-13-19.pdf>**OPINION OF RESOURCE SIGNIFICANCE**Appears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient informationAppears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information**Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)**

This Masonry Vernacular school building exhibits a common style found in South Florida, features non-historic alterations, and lacks known historical associations. Therefore, it is considered ineligible for listing in the National Register.

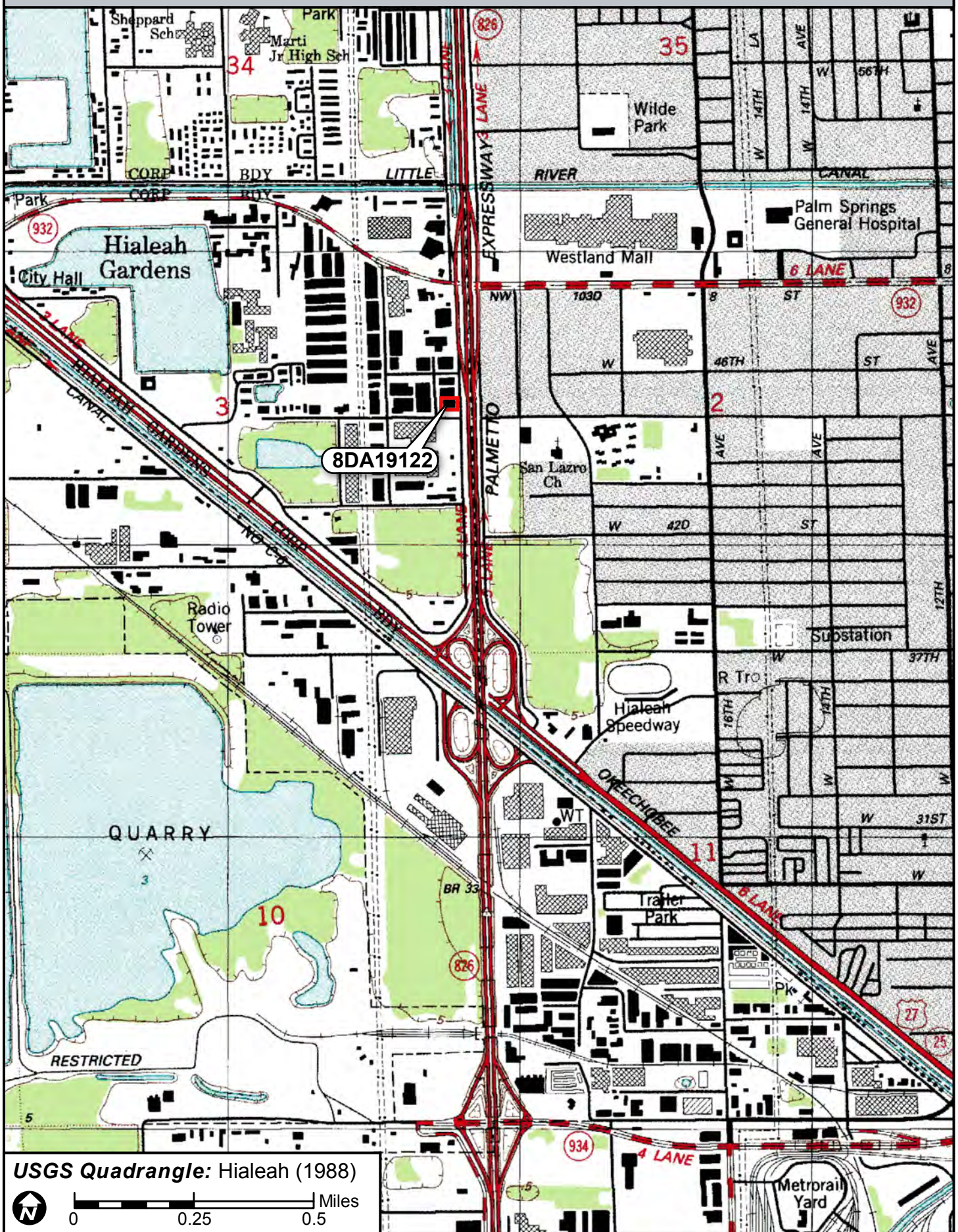
Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

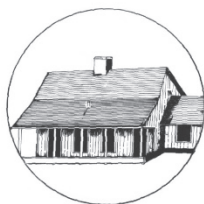
- | | |
|----------------------------------|--|
| Document type <u>Field notes</u> | Maintaining organization <u>Janus Research</u> |
| 1) Document description _____ | File or accession #'s _____ |
| Document type <u>Field maps</u> | Maintaining organization <u>Janus Research</u> |
| 2) Document description _____ | File or accession #'s _____ |

RECORDER INFORMATIONRecorder Name Janus Research Affiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com
(address / phone / fax / e-mail)**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.





☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19123**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 7

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) The Christmas Palace Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☒ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number 9820 Direction NW Street Name 77th Street Type Avenue Suffix Direction _____
 Cross Streets (nearest/between) W side NW 77th Avenue N of NW 98th Street
 USGS 7.5 Map Name HIALEAH USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Hialeah Gardens In City Limits? ☒ yes ☐ no ☐ unknown County Dade
 Township 53S Range 40E Section 3 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 27-3003-001-0080 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567768 Northing 2860716
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1967 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Commercial From (year): 1967 To (year): _____
 Current Use Commercial From (year): _____ To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1-1-2000 Nature Replcd doors/windows; ext ornament added
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 2
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Flat 2. _____ 3. _____
 Roof Material(s) 1. Built-up 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. Other 2. Decorative cornice

Windows (types, materials, etc.)
Metal fixed one-light, grouped

Distinguishing Architectural Features (exterior or interior ornaments)
Historic flat roof projection on E facade over first story; Decorative cornice detail added c. 2000s, pilasters/square columns w/ fluting, brackets

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)
None observed; asphalt parking spaces in front of building near entry way and ADA accessible ramp

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date		Init.	
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date			
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)				

DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. _____ 3. _____Foundation Type(s): 1. Continuous 2. _____Foundation Material(s): 1. Concrete Block 2. _____**Main Entrance (stylistic details)**

Metal/glass commercial style double door E facade under entry metal frame canopy w/ canvas gable roof; canopy is tiered

Porch Descriptions (types, locations, roof types, etc.)

Open entry porch on E facade w/ metal railing accessed via staircase w/ 7 steps, located beneath tiered entry canopy; ramp adjacent to staircase on N side provides ADA access

Condition (overall resource condition): ☐excellent ☒good ☐fair ☐deteriorated ☐ruinous**Narrative Description of Resource**

A 2-story Masonry Vernacular commercial building w/ no additions but several alterations made c2000 including replaced windows/doors and added exterior ornament including decorative cornice & fluted pilasters/columns.

Archaeological Remains _____ ☐Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> FMSF record search (sites/surveys) | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits | <input type="checkbox"/> Sanborn maps |
| <input type="checkbox"/> FL State Archives/photo collection | <input type="checkbox"/> city directory | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps |
| <input checked="" type="checkbox"/> property appraiser / tax records | <input type="checkbox"/> newspaper files | <input type="checkbox"/> neighbor interview | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS) | <input type="checkbox"/> historic photos | <input type="checkbox"/> interior inspection | <input type="checkbox"/> HABS/HAER record search |
| <input checked="" type="checkbox"/> other methods (describe) <u>Aerial photography</u> | | | |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCEAppears to meet the criteria for National Register listing individually? ☐yes ☒no ☐insufficient informationAppears to meet the criteria for National Register listing as part of a district? ☐yes ☒no ☐insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

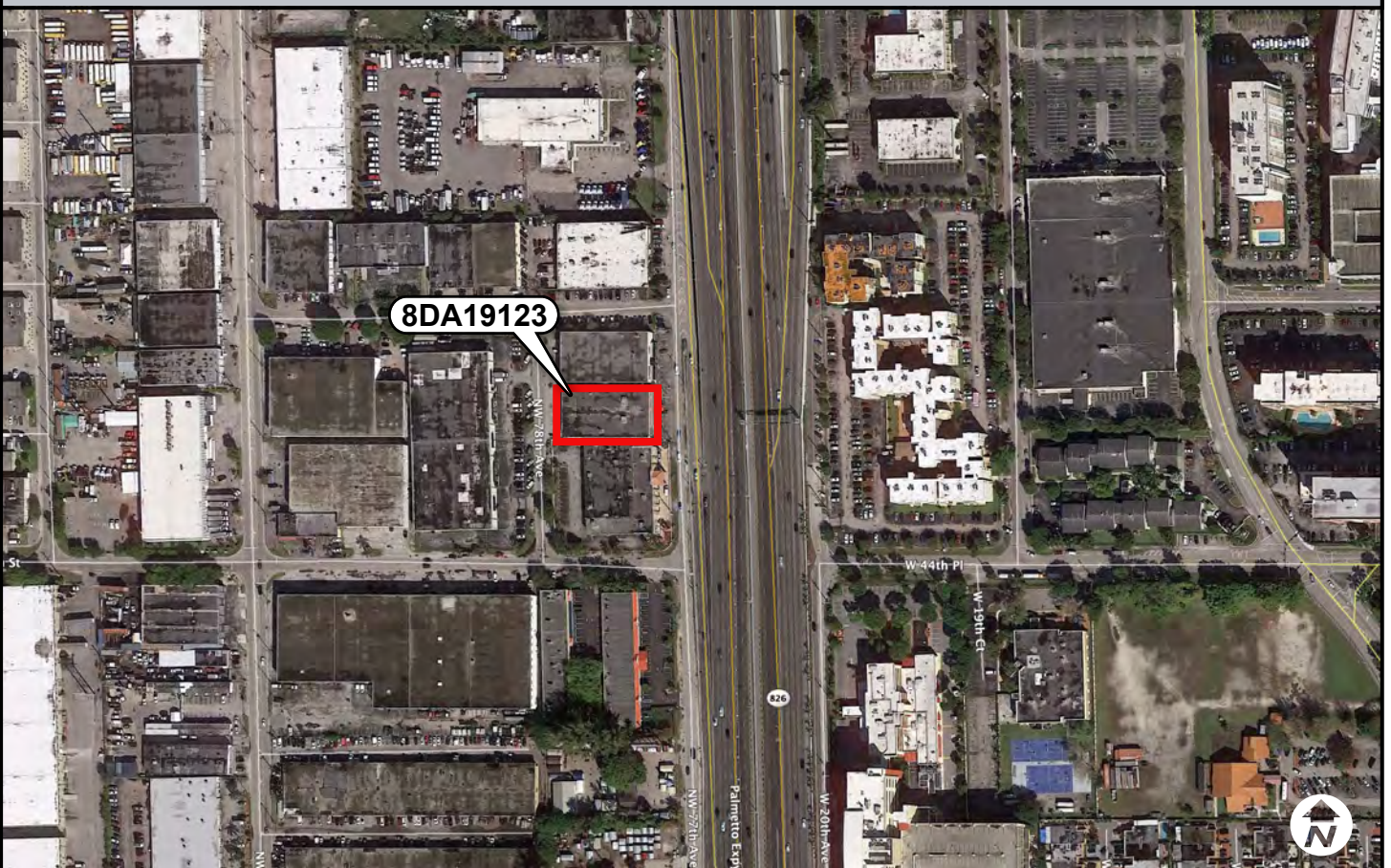
This Masonry Vernacular commercial building exhibits a common style found in South Florida, features non-historic alterations, and lacks known historical associations. Therefore, it is considered ineligible for listing in the National Register.

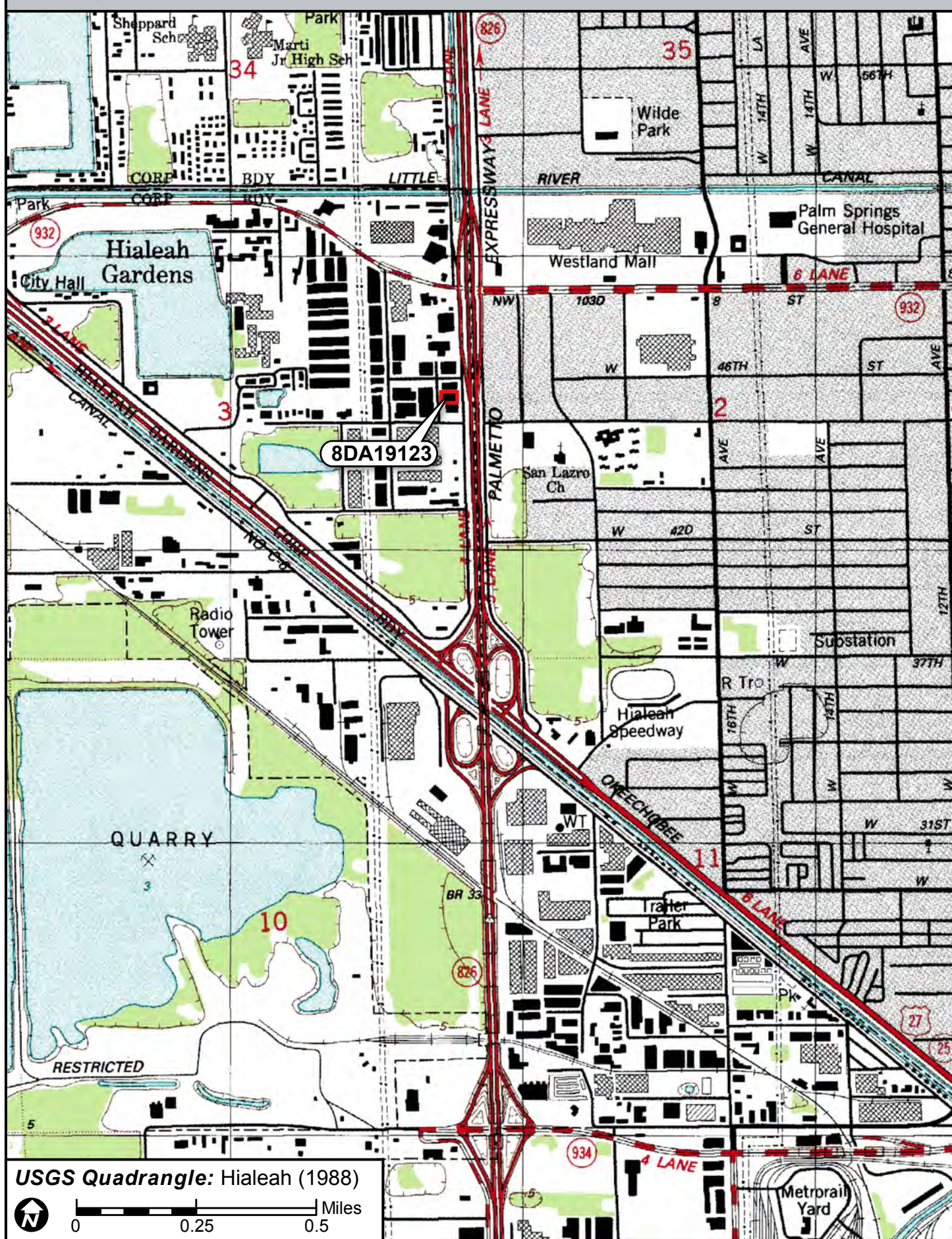
Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- | | |
|----------------------------------|--|
| Document type <u>Field notes</u> | Maintaining organization <u>Janus Research</u> |
| 1) Document description _____ | File or accession #'s _____ |
| Document type <u>Field maps</u> | Maintaining organization <u>Janus Research</u> |
| 2) Document description _____ | File or accession #'s _____ |

RECORDER INFORMATIONRecorder Name Janus Research Affiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com
(address / phone / fax / e-mail)**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital **AND** hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.





☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19124**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 8

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Mondano Lighting Home Gallery/LED Are Us Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☒ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Street Number 9840 Direction NW Street Name 77th Street Type Avenue Suffix Direction _____
 Address: _____
 Cross Streets (nearest / between) SW corner NW 77th Avenue at NW 99th Street
 USGS 7.5 Map Name HIALEAH USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Hialeah Gardens In City Limits? ☒ yes ☐ no ☐ unknown County Dade
 Township 53S Range 40E Section 3 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 27-3003-001-0092 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567769 Northing 2860754
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1970 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Commercial From (year): 1974 To (year): _____
 Current Use Commercial From (year): _____ To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1-1-2000 Nature Replcd doors/windows; ext ornament added
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 1
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Flat 2. _____ 3. _____
 Roof Material(s) 1. Built-up 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. Other 2. Decorative cornice

Windows (types, materials, etc.)
Metal fixed one-light, grouped

Distinguishing Architectural Features (exterior or interior ornaments)
Projecting storefronts/windows are historic when observed on aerial photos; Decorative cornice detail at roof line added c2000; canvas awnings

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)
None observed; asphalt parking spaces on E and N facades; ADA accessible ramp on N side of building

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____ KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____ NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)	
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DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. _____ 3. _____Foundation Type(s): 1. Continuous 2. _____Foundation Material(s): 1. Concrete Block 2. _____**Main Entrance (stylistic details)**

Recessed entry w/ glass/metal commercial doors separated by fixed 1-light window accessing 2 storefronts

Porch Descriptions (types, locations, roof types, etc.)

Recessed entry porch on E facade w/ metal railing accessed via staircase, under stucco arch in historic projection w/ storefronts/display windows

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

A Masonry Vernacular commercial bldg with alts made c2000 including replaced windows/doors & added exterior ornament including a decorative cornice on the E facade along the roof line; bldg houses 2 commercial spaces, both accessed on E.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> FMSF record search (sites/surveys) | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits | <input type="checkbox"/> Sanborn maps |
| <input type="checkbox"/> FL State Archives/photo collection | <input type="checkbox"/> city directory | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps |
| <input checked="" type="checkbox"/> property appraiser / tax records | <input type="checkbox"/> newspaper files | <input type="checkbox"/> neighbor interview | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS) | <input type="checkbox"/> historic photos | <input type="checkbox"/> interior inspection | <input type="checkbox"/> HABS/HAER record search |
| <input checked="" type="checkbox"/> other methods (describe) <u>Aerial photography</u> | | | |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCEAppears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient informationAppears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

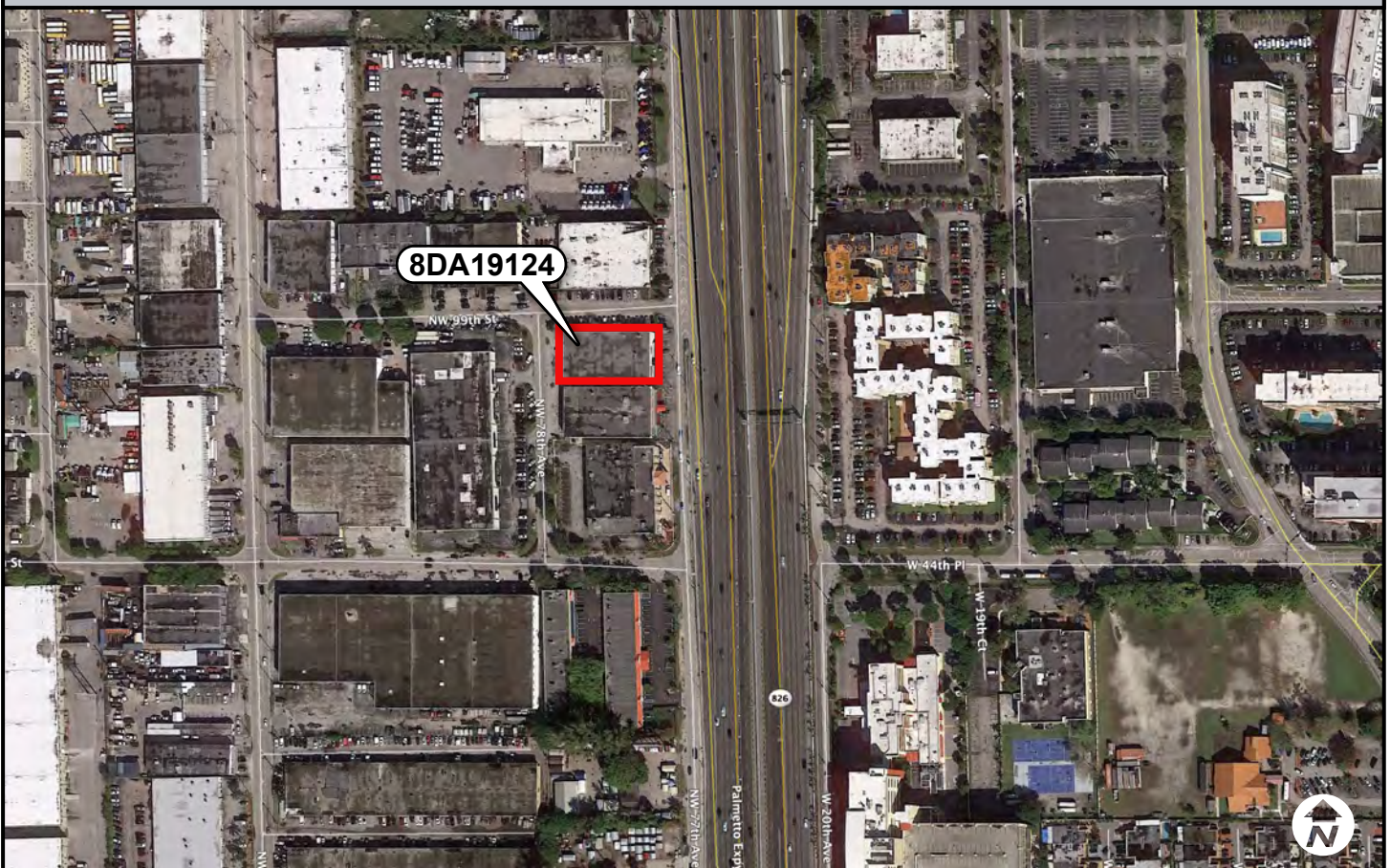
This Masonry Vernacular commercial building exhibits a common style found in South Florida, features non-historic alterations, and lacks known historical associations. Therefore, it is considered ineligible for listing in the National Register.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____**DOCUMENTATION**

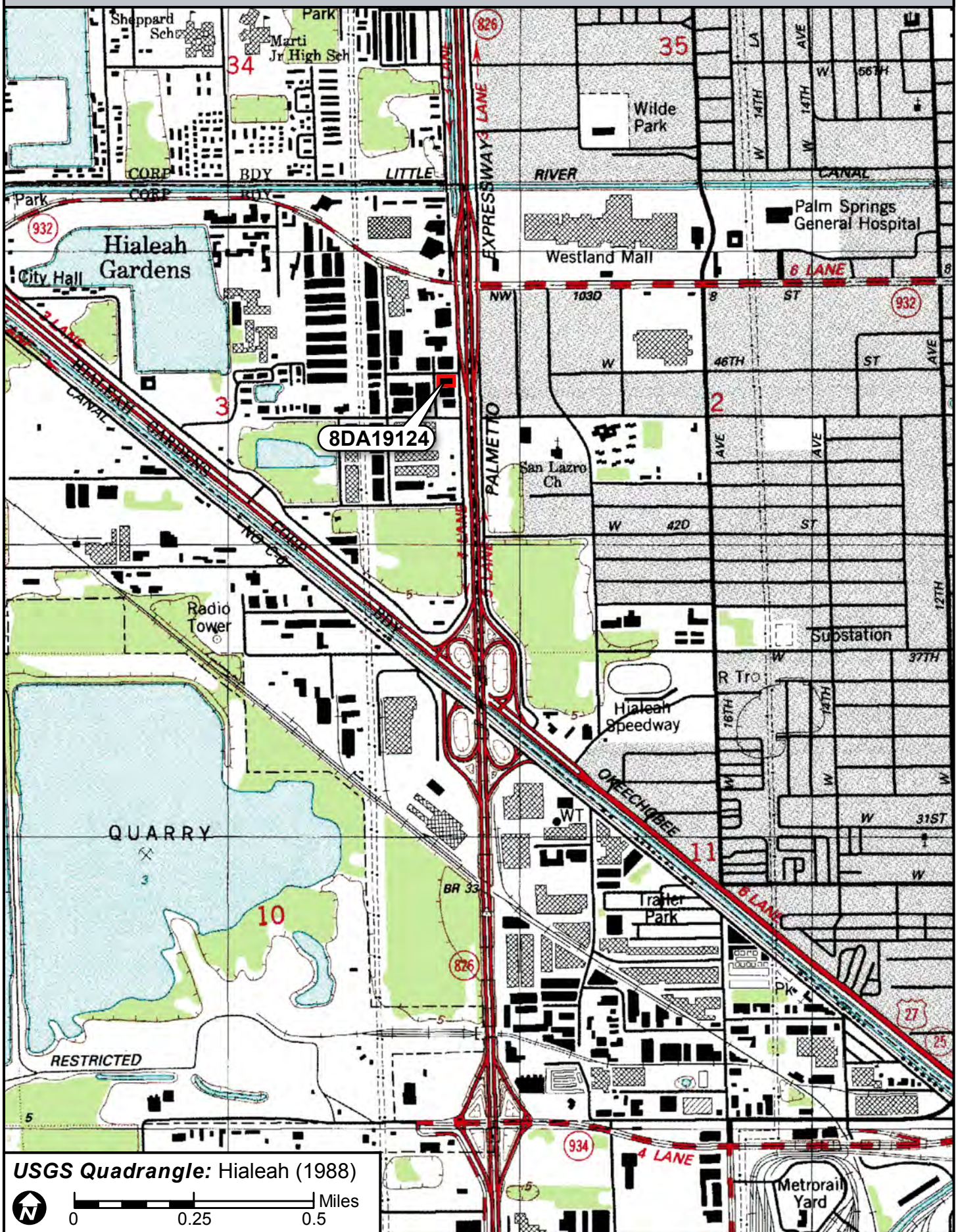
Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- | | |
|-------------------------------------|--|
| 1) Document type <u>Field notes</u> | Maintaining organization <u>Janus Research</u> |
| Document description _____ | File or accession #'s _____ |
| 2) Document type <u>Field maps</u> | Maintaining organization <u>Janus Research</u> |
| Document description _____ | File or accession #'s _____ |

RECORDER INFORMATIONRecorder Name Janus Research Affiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com
(address / phone / fax / e-mail)**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.







USGS Quadrangle: Hialeah (1988)



0 0.25 0.5 Miles

☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19125**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 9

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Comunidad De Fe Ministries Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☒ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Street Number 9880 Direction NW Street Name 77th Street Type Avenue Suffix Direction _____
 Address: _____
 Cross Streets (nearest / between) NW corner NW 77th Avenue at NW 99th Street
 USGS 7.5 Map Name HIALEAH USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Hialeah Gardens In City Limits? ☒ yes ☐ no ☐ unknown County Dade
 Township 53S Range 40E Section 3 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 27-3003-001-0093 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567767 Northing 2860807
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1970 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Commercial From (year): 1970 To (year): 2010
 Current Use Church/Temple/Synagogue From (year): 2010 To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1-1-2000 Nature Replcd doors/windows; ext ornament added
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 1
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Flat 2. _____ 3. _____
 Roof Material(s) 1. Built-up 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
 Windows (types, materials, etc.)
Metal fixed one-light

Distinguishing Architectural Features (exterior or interior ornaments)
Non-historic alterations including stucco ledge added on E facade at mid-level; stucco entrance canopy in SE corner and scored stucco detail.

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)
None observed; asphalt parking spaces on E and S facades; ADA accessible ramp in SE corner of building

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)

DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. _____ 3. _____Foundation Type(s): 1. Continuous 2. _____Foundation Material(s): 1. Concrete Block 2. _____**Main Entrance (stylistic details)**

Metal/glass commercial style double doors in SE corner, in recessed entry; accessed via staircase or ADA ramp

Porch Descriptions (types, locations, roof types, etc.)

Recessed entry porch in SE corner w/ metal railing accessed via staircase, under half-circle stucco canopy projection from corner of building supported by 2 square stucco columns

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

A Masonry Vernacular church bldg with alts made c2000 including replaced windows/doors & added exterior ornament including a stucco ledge running the length of the E facade & decorative entry in bldgs SE corner; built as commercial bldg.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> FMSF record search (sites/surveys) | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits | <input type="checkbox"/> Sanborn maps |
| <input type="checkbox"/> FL State Archives/photo collection | <input type="checkbox"/> city directory | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps |
| <input checked="" type="checkbox"/> property appraiser / tax records | <input type="checkbox"/> newspaper files | <input type="checkbox"/> neighbor interview | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS) | <input type="checkbox"/> historic photos | <input type="checkbox"/> interior inspection | <input type="checkbox"/> HABS/HAER record search |
| <input checked="" type="checkbox"/> other methods (describe) <u>Aerial photography</u> | | | |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCEAppears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient informationAppears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

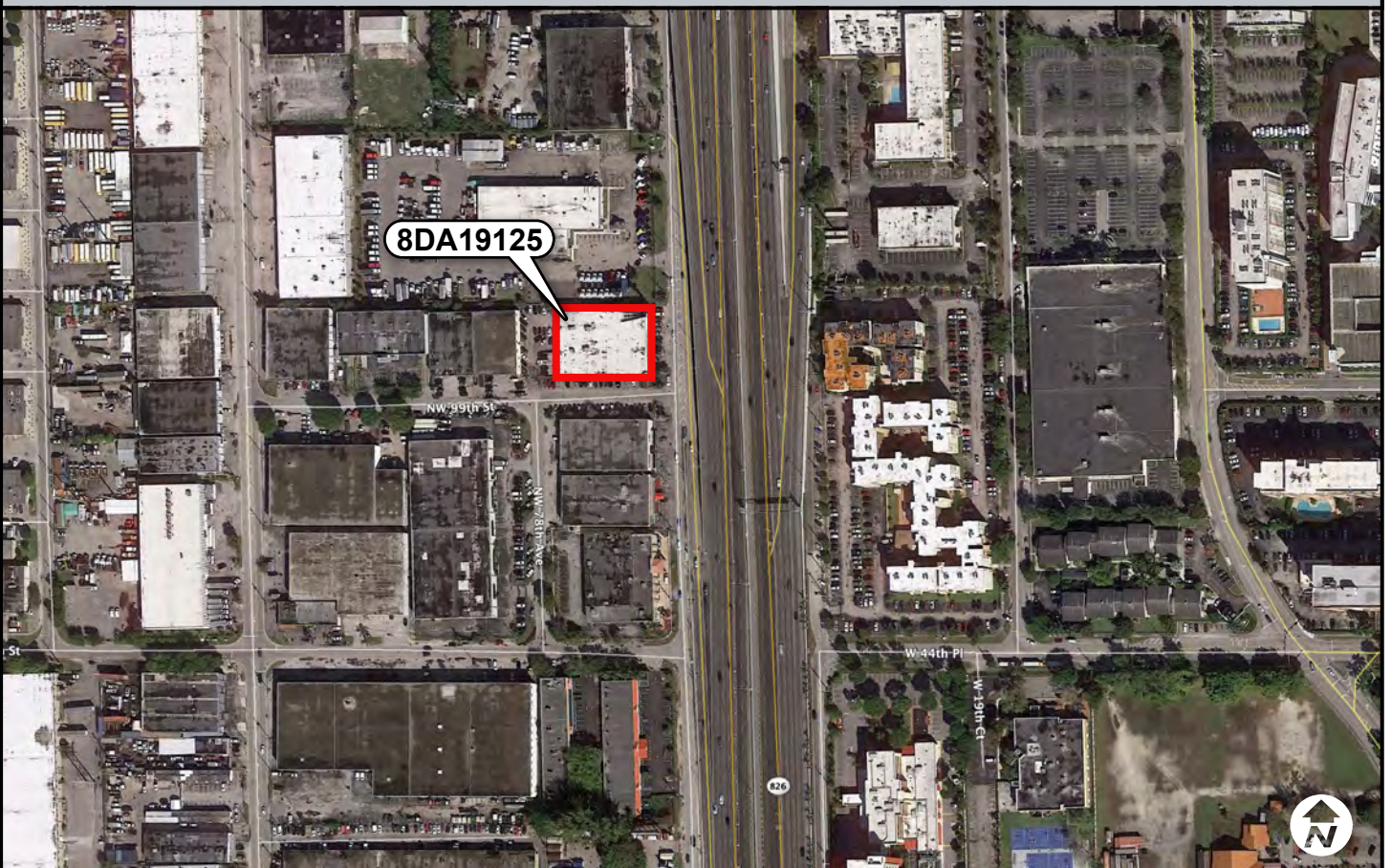
This Masonry Vernacular church building exhibits a common style found in South Florida, features non-historic alterations, and lacks known historical associations. Therefore, it is considered ineligible for listing in the National Register.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____
DOCUMENTATION

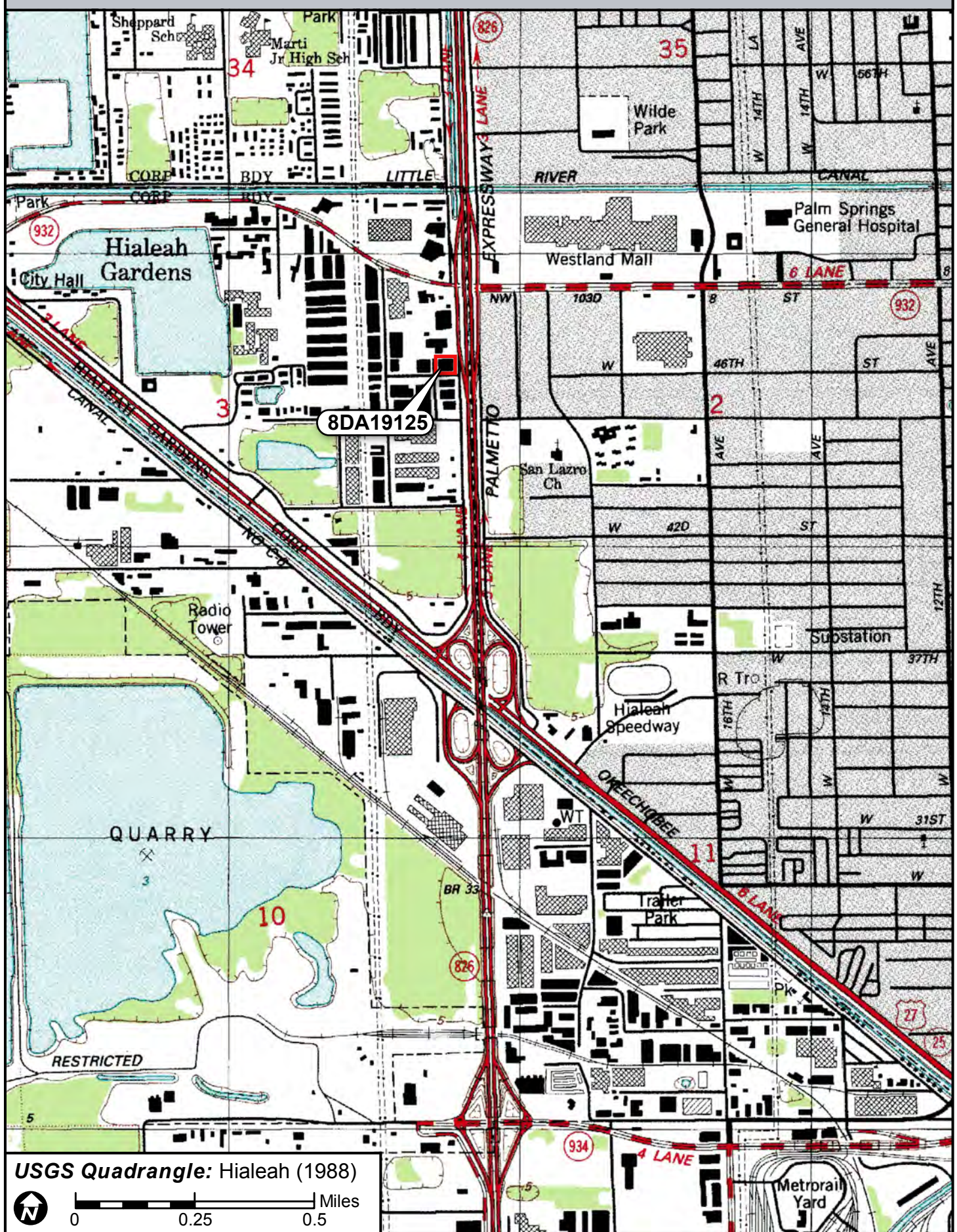
Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- | | |
|----------------------------------|--|
| Document type <u>Field notes</u> | Maintaining organization <u>Janus Research</u> |
| 1) Document description _____ | File or accession #'s _____ |
| Document type <u>Field maps</u> | Maintaining organization <u>Janus Research</u> |
| 2) Document description _____ | File or accession #'s _____ |

RECORDER INFORMATIONRecorder Name Janus Research Affiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com
(address / phone / fax / e-mail)**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.







☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19126**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 10

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Freightliner Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☒ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Street Number 9900 Direction NW Street Name 77th Street Type Avenue Suffix Direction _____
 Address: _____
 Cross Streets (nearest / between) W Side NW 77th Avenue N of NW 99th Street
 USGS 7.5 Map Name HIALEAH USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Hialeah Gardens In City Limits? ☒ yes ☐ no ☐ unknown County Dade
 Township 53S Range 40E Section 3 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 27-3003-001-0092 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567725 Northing 2860887
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1968 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Shop, auto repair From (year): 1968 To (year): _____
 Current Use Shop, auto repair From (year): _____ To (year): 2020
 Other Use Auto dealership From (year): 1968 To (year): 2020
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1-1-2010 Nature Replcd doors/windows
 Additions: ☒ yes ☐ no ☐ unknown Date: 1-1-1973 Nature W add; c1982 S add both w/ flat roofs
 Architect (last name first): Fisher, J. Herschel Builder (last name first): Merritt, Robert M.
 Ownership History (especially original owner, dates, profession, etc.)
Designed by J. Herschel Fisher & Pat Y. Spillman (Dallas, TX), constructed by Robert M. Merritt Inc. for Cummins Diesel Sales Corp. of Columbus, IN

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Industrial Vernacular Exterior Plan Irregular Number of Stories 1
 Exterior Fabric(s) 1. Stucco 2. Metal 3. _____
 Roof Type(s) 1. Flat 2. _____ 3. _____
 Roof Material(s) 1. Built-up 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____
 Windows (types, materials, etc.)
Metal fixed one-light, grouped

Distinguishing Architectural Features (exterior or interior ornaments)
Approx 5-foot tall metal band/entablature at top of building below roof line; N facade features several garage bays for mechanic/repair shop

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)
1 c1982 outbuilding in NW corner of parcel, metal skeleton building w/ gable metal roof; property enclosed in metal chainlink fence; large parking lot

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)

DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. Metal skeleton 3. _____Foundation Type(s): 1. Slab 2. _____Foundation Material(s): 1. Concrete, Generic 2. _____**Main Entrance (stylistic details)**

Double commercial style metal/glass doors on E facade of SE addition

Porch Descriptions (types, locations, roof types, etc.)

None observed; concrete apron on E facade of bldg near main entrance

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

This Industrial Vernacular truck mechanic and dealership has 2 additions and features several garage bays on N facade and non-historic repl windows/doors c2010. Retains same use as when constructed but ownership/company has changed several times.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**☐ FMSF record search (sites/surveys)☒ library research☐ building permits☐ Sanborn maps☐ FL State Archives/photo collection☐ city directory☐ occupant/owner interview☐ plat maps☒ property appraiser / tax records☐ newspaper files☐ neighbor interview☐ Public Lands Survey (DEP)☒ cultural resource survey (CRAS)☐ historic photos☐ interior inspection☐ HABS/HAER record search☒ other methods (describe) Aerial photography**Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)**

"Merritt Starts Hialeah Project", The Miami Herald, October 24, 1964, page 134; "\$200,000 Plant Contract Awarded", The Miami News, November 3, 1964, page 8; "About company" freightlinerfl.com

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually?

☐ yes☒ no☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☐ yes☒ no☐ insufficient information**Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)**

This Industrial Vernacular auto mechanic & dealership exhibits a common style found in South Florida, features non-historic alts, and 2 large additions have changed its plan. Therefore, it is considered ineligible for listing in the National Register.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notesMaintaining organization Janus Research

Document description _____

File or accession #'s _____

2) Document type Field mapsMaintaining organization Janus Research

Document description _____

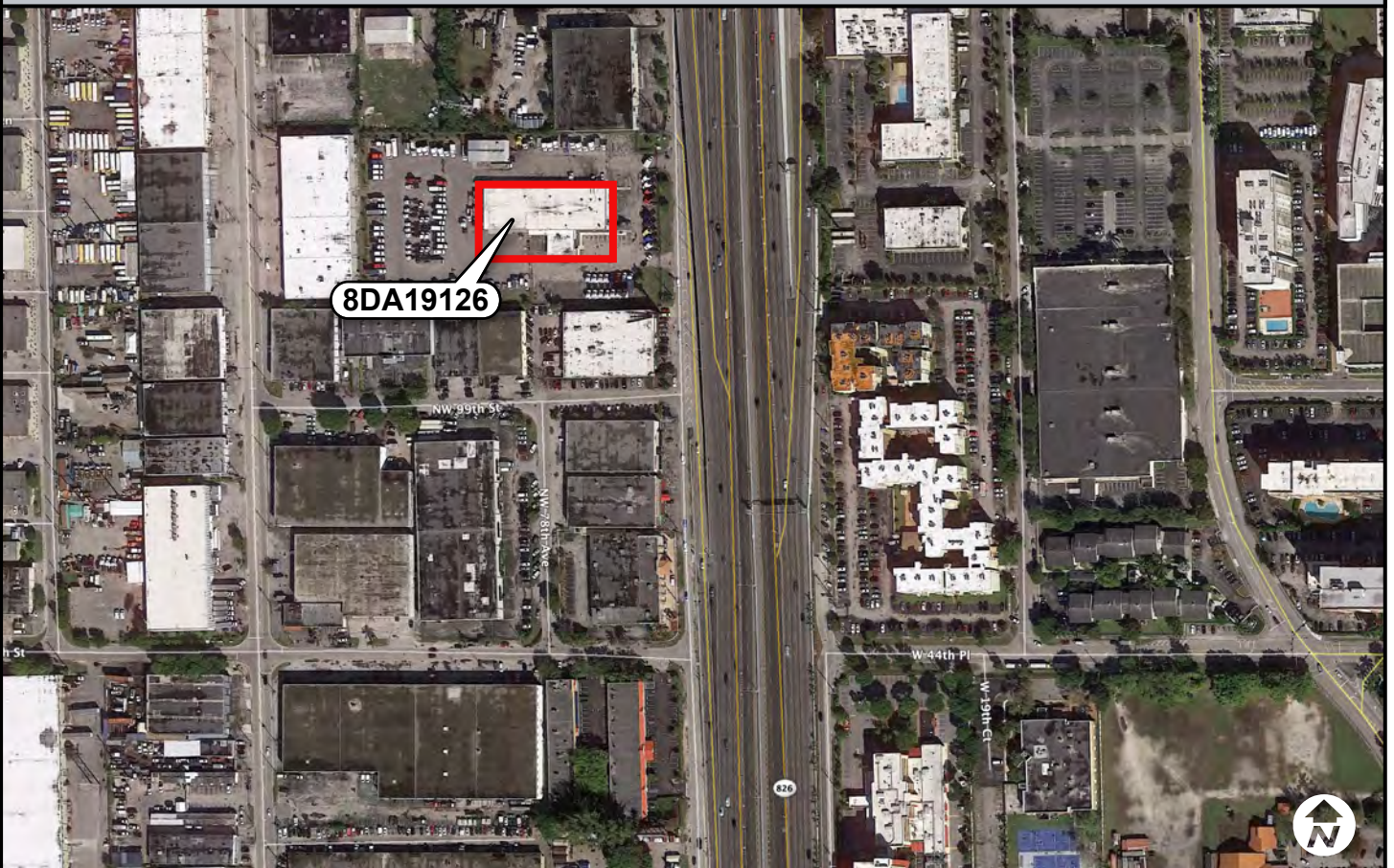
File or accession #'s _____

RECORDER INFORMATIONRecorder Name Janus ResearchAffiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com

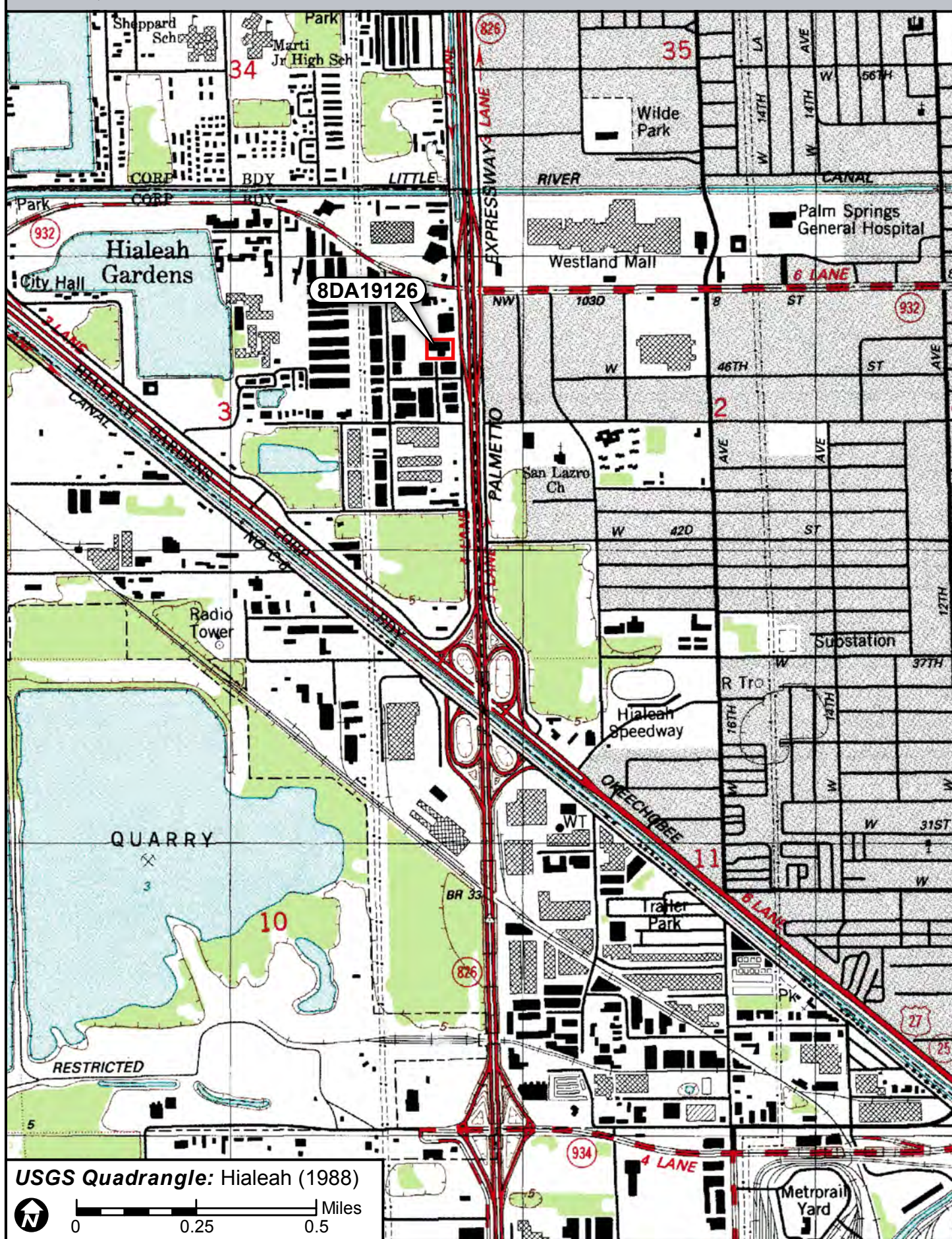
(address / phone / fax / e-mail)

Required Attachments**① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital **AND** hard copy format (plain paper grayscale acceptable).

Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.







☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19127**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 11

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Tropical Tile & Marble Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☒ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Street Number 9950 Direction NW Street Name 77th Street Type Avenue Suffix Direction _____
 Address: _____
 Cross Streets (nearest / between) W Side NW 77th Avenue N of NW 99th Street
 USGS 7.5 Map Name HIALEAH USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Hialeah Gardens In City Limits? ☒ yes ☐ no ☐ unknown County Dade
 Township 53S Range 40E Section 3 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 27-3003-001-0051 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567753 Northing 2860959
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1968 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Industrial From (year): 1968 To (year): 1981
 Current Use Commercial From (year): 1981 To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1-1-1990 Nature Replaced first floor windows and doors
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature None observed
 Architect (last name first): _____ Builder (last name first): _____
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Industrial Vernacular Exterior Plan Rectangular Number of Stories 2
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Flat 2. _____ 3. _____
 Roof Material(s) 1. Built-up 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____

Windows (types, materials, etc.)

Metal fixed one-light, tripartite; Metal awning three-light, paired

Distinguishing Architectural Features (exterior or interior ornaments)

Canvas window awnings on second floor windows; eyebrow ledge on first floor in middle of building above doors/windows

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

No outbuildings; parking area E facade; concrete ramps leading to garage bays/loading docks on E facade, CB wall covered in stucco on N property line

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)

DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. _____ 3. _____Foundation Type(s): 1. Slab 2. _____Foundation Material(s): 1. Concrete, Generic 2. _____**Main Entrance (stylistic details)**

Double commercial style metal/glass doors on E facade in center of building; accessed via entry porch w/double staircase

Porch Descriptions (types, locations, roof types, etc.)

Entry porch E facade in center of building, open w/ metal railing and staircase at both North and South ends of porch, eyebrow ledge projects from building over porch

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

This Industrial Vernacular-style commercial building has replaced windows and doors on the first floor and no observed alterations. The building has identical garage bays/loading docks in both the NE and SE corners of the structure.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> FMSF record search (sites/surveys) | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits | <input type="checkbox"/> Sanborn maps |
| <input type="checkbox"/> FL State Archives/photo collection | <input type="checkbox"/> city directory | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps |
| <input checked="" type="checkbox"/> property appraiser / tax records | <input type="checkbox"/> newspaper files | <input type="checkbox"/> neighbor interview | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS) | <input type="checkbox"/> historic photos | <input type="checkbox"/> interior inspection | <input type="checkbox"/> HABS/HAER record search |
| <input checked="" type="checkbox"/> other methods (describe) <u>Aerial photography</u> | | | |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

"Tropical Tile & Marble Distributors, Inc. Advertisement", The Miami Herald, February 18, 1982, Pg 8; "Meadow Industries, Inc. Employment Advertisement", The Miami Herald, January 11, 1970, Pg 83

OPINION OF RESOURCE SIGNIFICANCEAppears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient informationAppears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information**Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)**

This Industrial Vernacular commercial building exhibits a common style found in South Florida, features non-historic alterations, and no known historical associations. Therefore, it is considered ineligible for listing in the National Register.

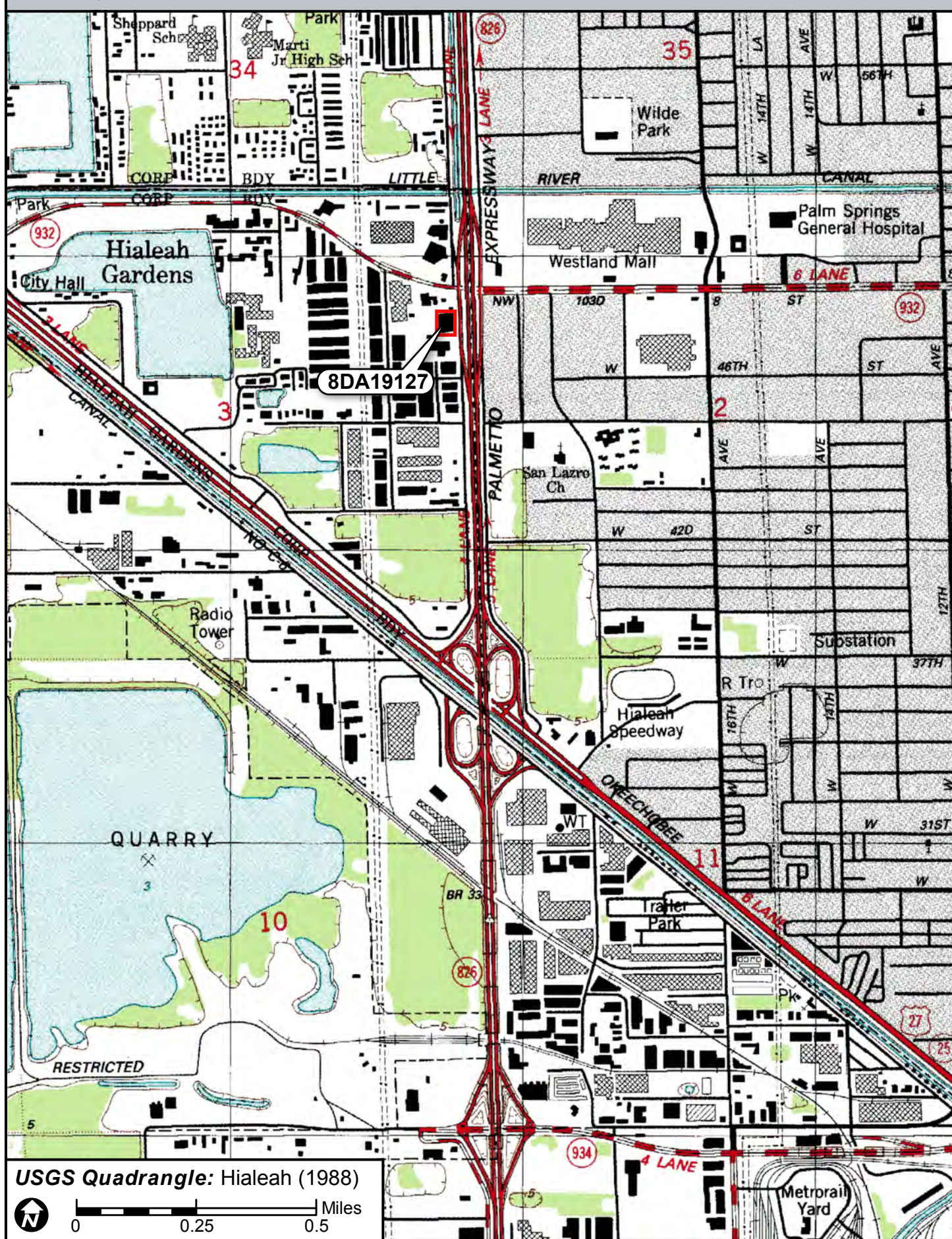
Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- | | |
|-------------------------------------|--|
| 1) Document type <u>Field notes</u> | Maintaining organization <u>Janus Research</u> |
| Document description _____ | File or accession #'s _____ |
| 2) Document type <u>Field maps</u> | Maintaining organization <u>Janus Research</u> |
| Document description _____ | File or accession #'s _____ |

RECORDER INFORMATIONRecorder Name Janus Research Affiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com
(address / phone / fax / e-mail)**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.





☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19128**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 13

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 7701 NW 103rd Street Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☒ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Street Number 7701 Direction NW Street Name 103rd Street Type Street Suffix Direction _____
 Address: _____
 Cross Streets (nearest / between) North Side of NW 103rd St East of NW 77th Ct
 USGS 7.5 Map Name HIALEAH USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Hialeah Gardens In City Limits? ☒ yes ☐ no ☐ unknown County Dade
 Township 53S Range 40E Section 3 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 27-3003-001-0021 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567746 Northing 2861129
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1972 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Gas station From (year): 1972 To (year): 2000
 Current Use Auto dealership From (year): 2000 To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1-1-1990 Nature Replaced windows and doors
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature None observed
 Architect (last name first): _____ Builder (last name first): _____
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 1
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Gable 2. _____ 3. _____
 Roof Material(s) 1. Barrel tile 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____

Windows (types, materials, etc.)
Metal fixed one-light, grouped

Distinguishing Architectural Features (exterior or interior ornaments)
Non-historic barrel tile gable roof

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)
No outbuildings observed; parking lot surrounds structure

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)

DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. _____ 3. _____Foundation Type(s): 1. Slab 2. _____Foundation Material(s): 1. Concrete, Generic 2. _____**Main Entrance (stylistic details)**

Double commercial style metal/glass doors on S facade in center of building

Porch Descriptions (types, locations, roof types, etc.)

None observed

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

This Masonry Vernacular-style auto dealership was historically used as a gas station and originally had a perpendicular gable roof structure on the S facade which was removed in the early 1990s; building has replaced windows and doors c1990.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> FMSF record search (sites/surveys) | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits | <input type="checkbox"/> Sanborn maps |
| <input type="checkbox"/> FL State Archives/photo collection | <input type="checkbox"/> city directory | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps |
| <input checked="" type="checkbox"/> property appraiser / tax records | <input type="checkbox"/> newspaper files | <input type="checkbox"/> neighbor interview | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS) | <input type="checkbox"/> historic photos | <input type="checkbox"/> interior inspection | <input type="checkbox"/> HABS/HAER record search |
| <input checked="" type="checkbox"/> other methods (describe) <u>Aerial photography</u> | | | |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

"Advertisement", The Miami Herald, June 21, 1992, Page 109

OPINION OF RESOURCE SIGNIFICANCEAppears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient informationAppears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information**Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)**

This Masonry Vernacular building exhibits a common style found in S Florida, features replaced windows/doors/exterior material, and half the original structure was removed. Therefore, it is considered ineligible for listing in the National Register.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- 1) Document type Field notes Maintaining organization Janus Research
 Document description _____ File or accession #'s _____
- 2) Document type Field maps Maintaining organization Janus Research
 Document description _____ File or accession #'s _____

RECORDER INFORMATIONRecorder Name Janus Research Affiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com
 (address / phone / fax / e-mail)**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**

When submitting an image, it must be included in digital **AND** hard copy format (plain paper grayscale acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

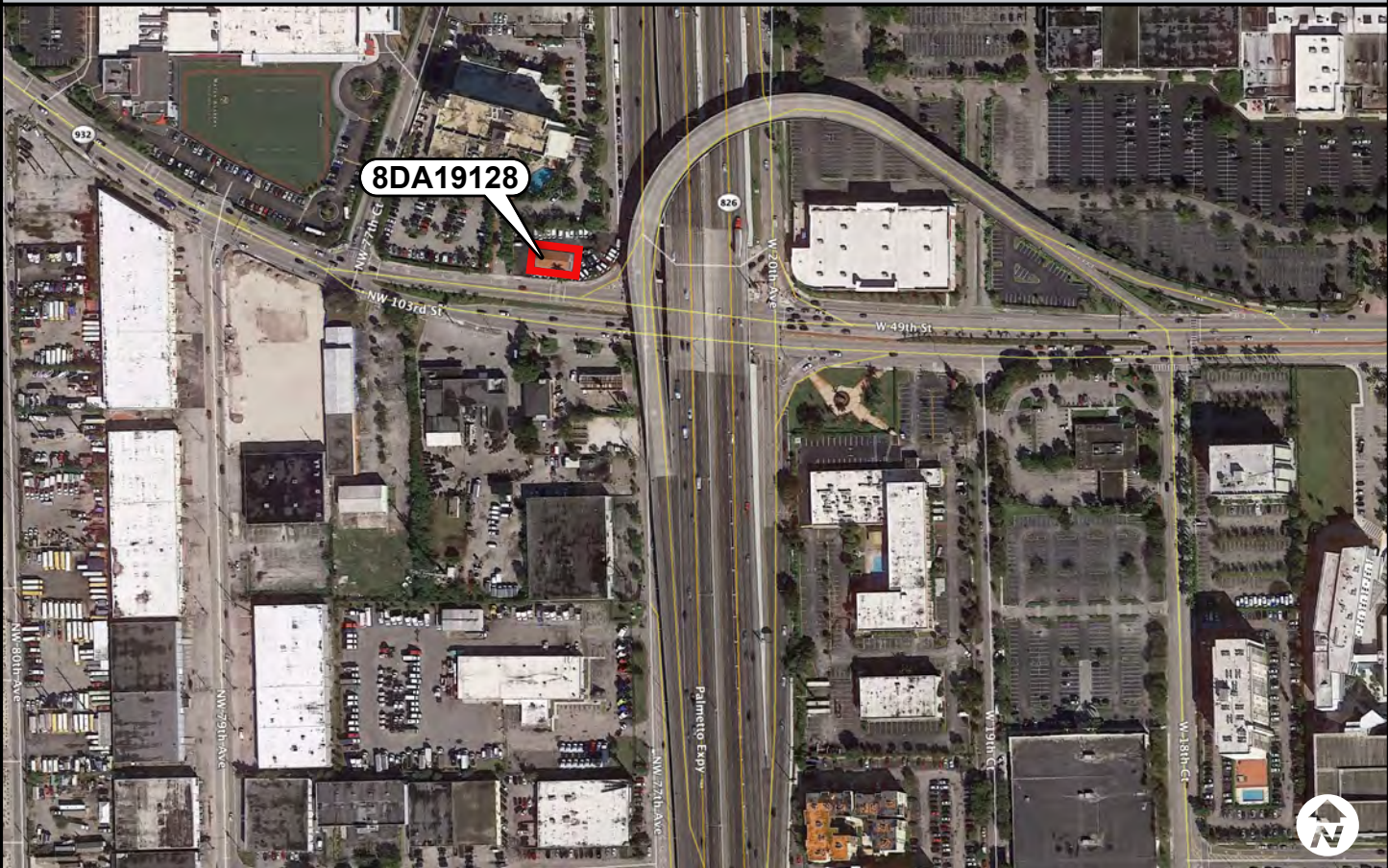
PHOTOGRAPH	8DA19128
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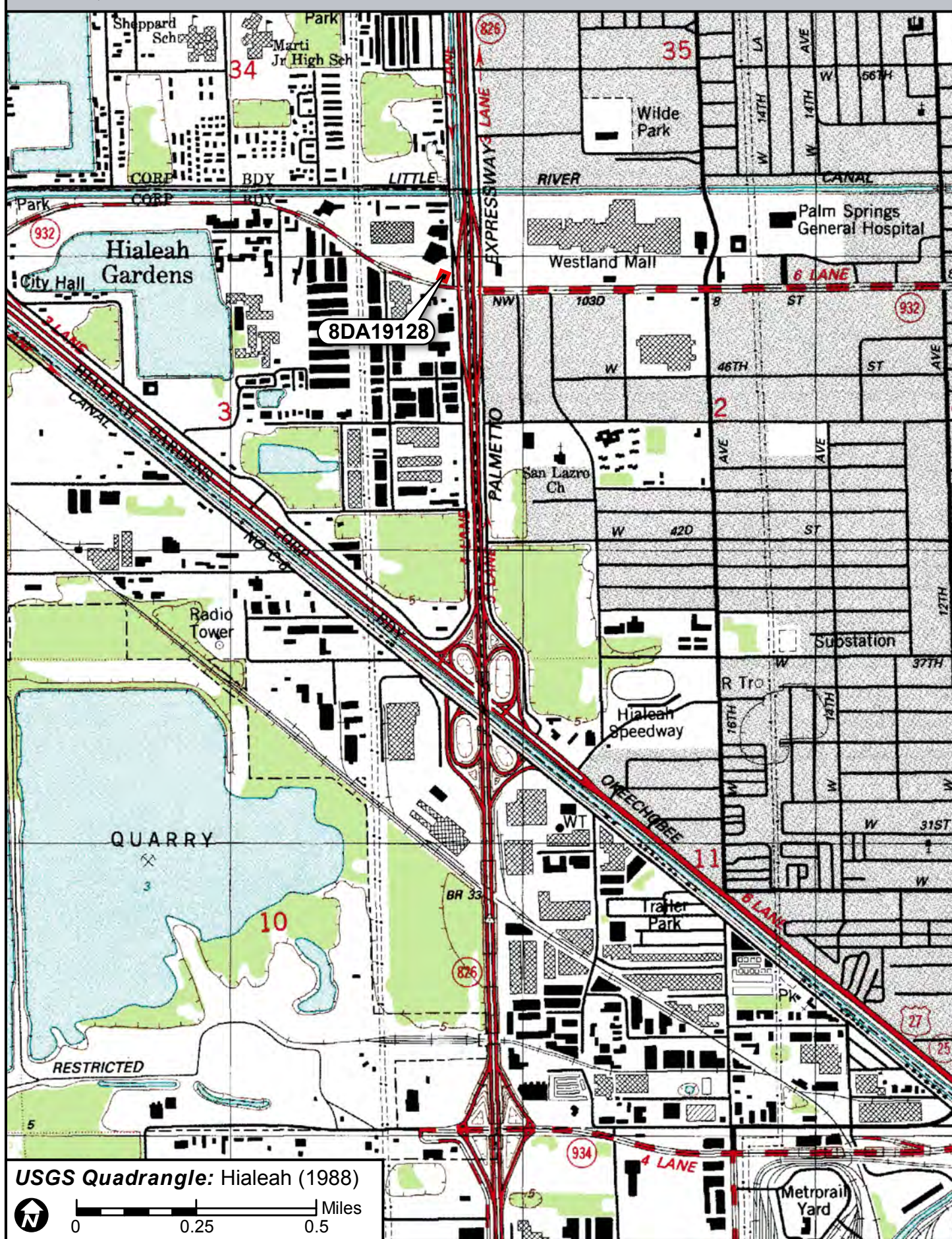
PHOTOGRAPH	8DA19128
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SKETCH MAP	8DA19128
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SKETCH MAP	8DA19128
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☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19129**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 14

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Mater Academy Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☒ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number 7901 Direction NW Street Name 103rd Street Type Street Suffix Direction _____
 Cross Streets (nearest / between) North Side of NW 103rd St W of NW 77th Court
 USGS 7.5 Map Name HIALEAH USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Hialeah Gardens In City Limits? ☒ yes ☐ no ☐ unknown County Dade
 Township 53S Range 40E Section 3 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 27-3003-001-0020 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567566 Northing 2861284
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1962 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Industrial From (year): 1962 To (year): 2004
 Current Use School From (year): 2004 To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1-1-2004 Nature Replaced windows, doors, ext material
 Additions: ☒ yes ☐ no ☐ unknown Date: 1-1-2009 Nature c2009 SW corner, c2018 E facade
 Architect (last name first): _____ Builder (last name first): _____
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Not applicable Exterior Plan Irregular Number of Stories 3
 Exterior Fabric(s) 1. Stucco 2. Metal 3. Glass curtain wall
 Roof Type(s) 1. Flat 2. _____ 3. _____
 Roof Material(s) 1. Built-up 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. Parapet

Windows (types, materials, etc.)

Metal fixed one-light, some grouped; Metal awning four-light, paired; Metal fixed one-light, round windows

Distinguishing Architectural Features (exterior or interior ornaments)

Stucco pilasters S facade; scored stucco; metal columns supporting metal open awning; round porthole windows

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

No outbuildings observed; parking lot surrounds complex; athletic fields on S facade; multi-story canopy connecting SW addition to building

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)

DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. Metal skeleton 3. _____Foundation Type(s): 1. Slab 2. _____Foundation Material(s): 1. Concrete, Generic 2. _____**Main Entrance (stylistic details)**

Main entrance obscured, multiple access doors to school building are c 2005-2010 metal/glass commercial style doors

Porch Descriptions (types, locations, roof types, etc.)

Multi-story canopy supported by round metal columns over recessed porch in SW corner of school

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

This school bldg doesn't possess a distinct style and was constructed c1962 as an industrial structure before being renovated as a school bldg, with no visible historic material extant; 1 addition added on SW corner c2009 and 1 on W facade c2018.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> FMSF record search (sites/surveys) | <input checked="" type="checkbox"/> library research | <input type="checkbox"/> building permits | <input type="checkbox"/> Sanborn maps |
| <input type="checkbox"/> FL State Archives/photo collection | <input type="checkbox"/> city directory | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps |
| <input checked="" type="checkbox"/> property appraiser / tax records | <input type="checkbox"/> newspaper files | <input type="checkbox"/> neighbor interview | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS) | <input type="checkbox"/> historic photos | <input type="checkbox"/> interior inspection | <input type="checkbox"/> HABS/HAER record search |
| <input checked="" type="checkbox"/> other methods (describe) <u>Aerial photography</u> | | | |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCEAppears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient informationAppears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

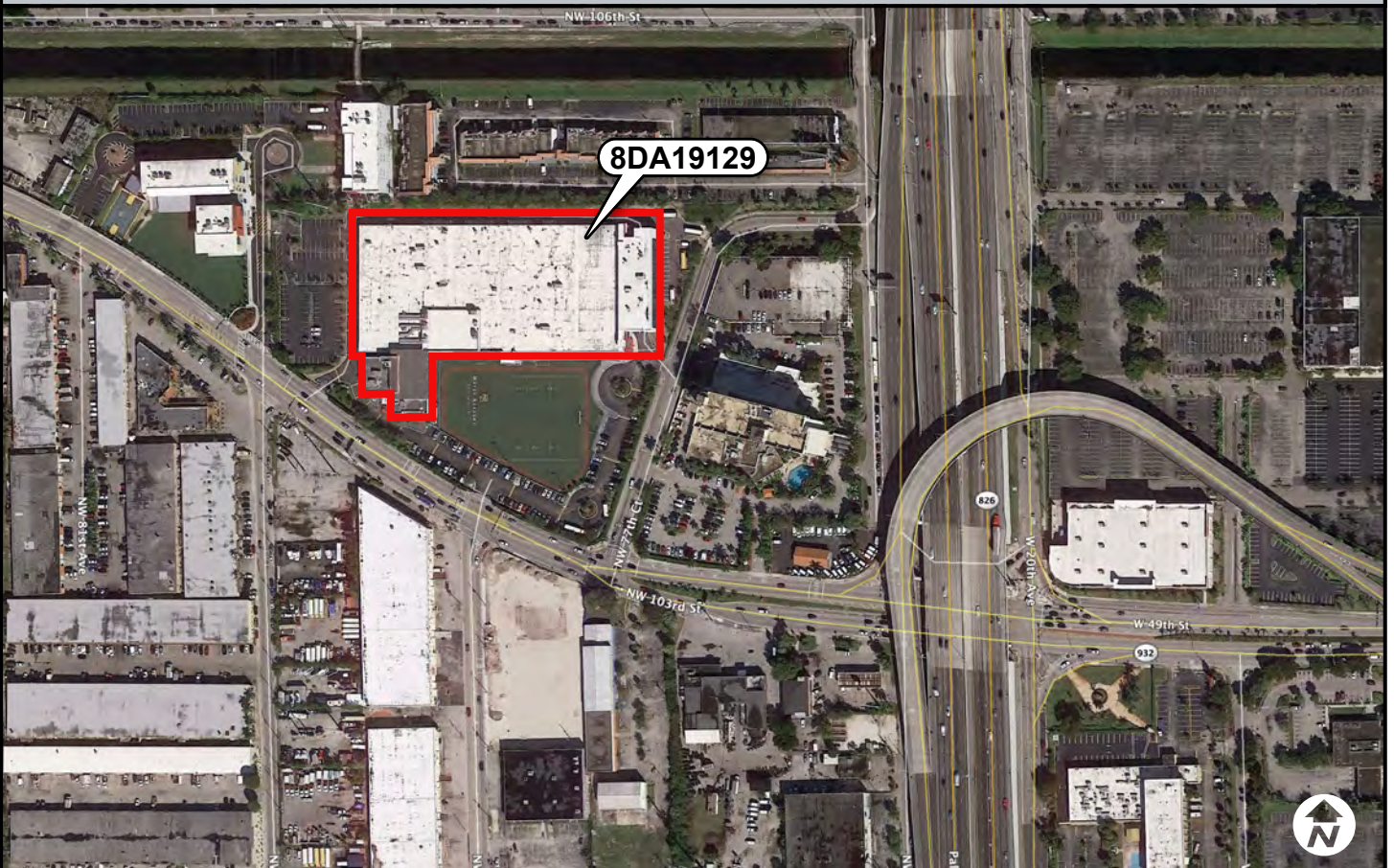
This school building doesn't exhibit a specific architectural style, alterations include replaced windows/doors/ext material, 2 large additions, and lacks historic material or features. Therefore, it is considered ineligible for the National Register.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____
DOCUMENTATION

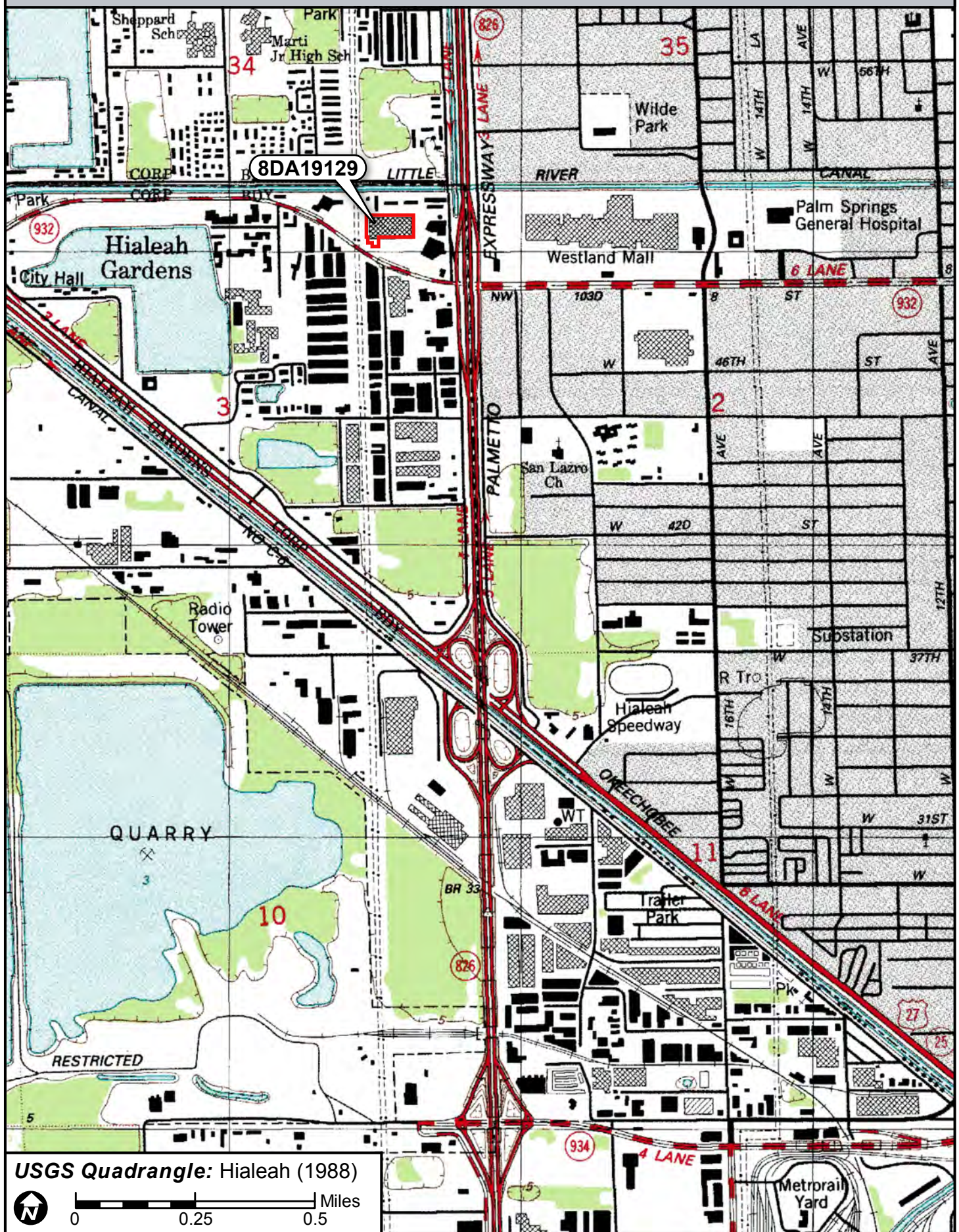
Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- | | |
|----------------------------------|--|
| Document type <u>Field notes</u> | Maintaining organization <u>Janus Research</u> |
| 1) Document description _____ | File or accession #'s _____ |
| Document type <u>Field maps</u> | Maintaining organization <u>Janus Research</u> |
| 2) Document description _____ | File or accession #'s _____ |

RECORDER INFORMATIONRecorder Name Janus Research Affiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com
(address / phone / fax / e-mail)**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.







☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19130**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 15

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Palm-West Gardens Condominiums Bldg 3 Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: 1990 W 56th Street
 Cross Streets (nearest / between) SE corner W 20th Avenue at W 56th Street
 USGS 7.5 Map Name HIALEAH USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Hialeah In City Limits? ☒ yes ☐ no ☐ unknown County _____
 Township 52S Range 40E Section 35 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 04-2035-046-0010 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567902 Northing 2861765
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1973 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Apartment From (year): 1973 To (year): _____
 Current Use Apartment From (year): _____ To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1-1-1990 Nature c1990s/2000s replaced windows
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Irregular Number of Stories 5
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Flat 2. _____ 3. _____
 Roof Material(s) 1. Built-up 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____

Windows (types, materials, etc.)

Metal single-hung-sash one-over-one, metal single-hung-sash two-over-two; metal awning five-light, some paired

Distinguishing Architectural Features (exterior or interior ornaments)

Stucco banding along structure; 4 stories of residential units above ground floor parking/utilities/elevator supported by piers

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

1 of 3 structures in condo complex; this structure is comprised of several smaller portions connected via exterior breezeways sharing a roof

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____ KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____ NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)	
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DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. Metal skeleton 3. _____Foundation Type(s): 1. Piers 2. _____Foundation Material(s): 1. Poured Concrete Footing 2. _____**Main Entrance (stylistic details)**

Main entrance obscured but several elevator chambers and stairwells located off ground floor parking area

Porch Descriptions (types, locations, roof types, etc.)

Each condo unit has balcony, stucco base under projecting roof from unit above, metal railing; some balconies enclosed with walls and awning/jalousie windows; metal/glass sliding doors access unit from balcony

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

This large Masonry Vernacular condominium bldg is 1 of 3 structures in APE comprising RG 8DA19148; structure has several wings connected via covered exterior breezeways forming irregular shape w/ several interior courtyards

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- | | | | |
|--|---|---|--|
| <input type="checkbox"/> FMSF record search (sites/surveys) | <input type="checkbox"/> library research | <input type="checkbox"/> building permits | <input type="checkbox"/> Sanborn maps |
| <input type="checkbox"/> FL State Archives/photo collection | <input type="checkbox"/> city directory | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps |
| <input checked="" type="checkbox"/> property appraiser / tax records | <input checked="" type="checkbox"/> newspaper files | <input type="checkbox"/> neighbor interview | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS) | <input type="checkbox"/> historic photos | <input type="checkbox"/> interior inspection | <input type="checkbox"/> HABS/HAER record search |
| <input checked="" type="checkbox"/> other methods (describe) <u>Aerial photography</u> | | | |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCEAppears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient informationAppears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

This Masonry Vernacular condominium bldg exhibits a common style found in South Florida, features alts including replaced windows and material, and lacks historical associations. Therefore, it is considered ineligible for listing in the National Register

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____**DOCUMENTATION**

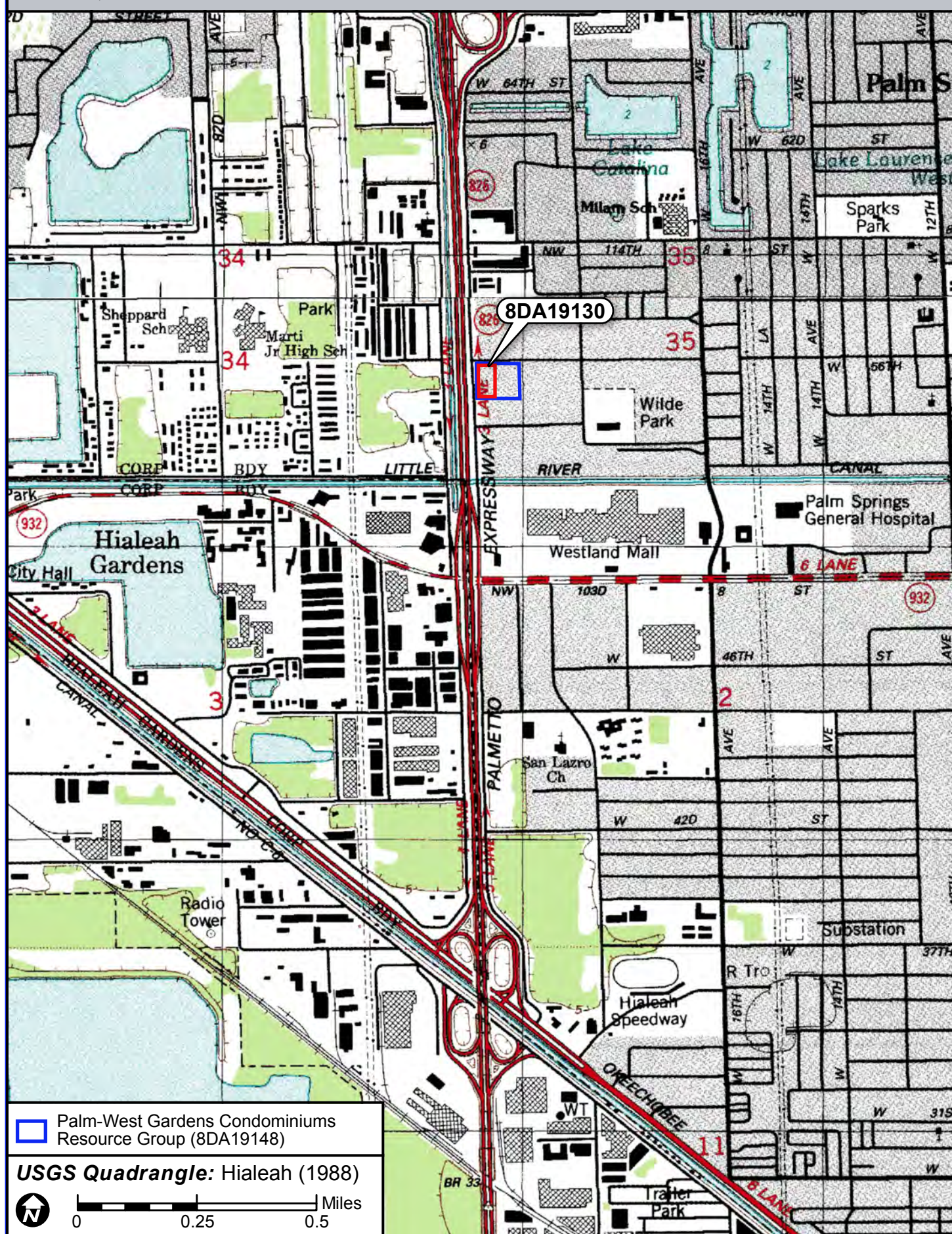
Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- | | |
|----------------------------------|--|
| Document type <u>Field notes</u> | Maintaining organization <u>Janus Research</u> |
| 1) Document description _____ | File or accession #'s _____ |
| Document type <u>Field maps</u> | Maintaining organization <u>Janus Research</u> |
| 2) Document description _____ | File or accession #'s _____ |

RECORDER INFORMATIONRecorder Name Janus Research Affiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com
(address / phone / fax / e-mail)**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.







☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19131**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 16

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Westland Gardens Condominiums Bldg 5625 Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: 5625 W 20th Avenue
 Cross Streets (nearest / between) NE corner W 20th Avenue at W 56th Street
 USGS 7.5 Map Name HIALEAH USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Hialeah In City Limits? ☒ yes ☐ no ☐ unknown County _____
 Township 52S Range 40E Section 35 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 04-2035-129-0001 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567910 Northing 2861865
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1972 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Apartment From (year): 1972 To (year): _____
 Current Use Apartment From (year): _____ To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1-1-1990 Nature c1990s/2000s some replaced windows
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 4
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Flat 2. _____ 3. _____
 Roof Material(s) 1. Built-up 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. Parapet

Windows (types, materials, etc.)

Metal single-hung-sash two-over-two

Distinguishing Architectural Features (exterior or interior ornaments)

Stucco parapet/castellated detail along roof line between windows

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

1 of 6 structures in condo complex; complex enclosed in chain-link property fence has 2 driveway entrances w/ metal gates

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)

DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. _____ 3. _____Foundation Type(s): 1. Continuous 2. _____Foundation Material(s): 1. Concrete Block 2. _____**Main Entrance (stylistic details)**

Door on W facade under fabric awning

Porch Descriptions (types, locations, roof types, etc.)

Each condo unit has balcony, stucco base under projecting roof from unit balcony above, metal railing; some units have balconies next to neighboring unit separated by stucco wall

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

This Masonry Vernacular condominium bldg is 1 of 3 structures in APE comprising RG 8DA19149; structure is rectangular in plan w/ units on all 4 floors; tenting on W facade and some renovation work ongoing on throughout building

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**☐ FMSF record search (sites/surveys)☐ library research☐ building permits☐ Sanborn maps☐ FL State Archives/photo collection☐ city directory☐ occupant/owner interview☐ plat maps☒ property appraiser / tax records☒ newspaper files☐ neighbor interview☐ Public Lands Survey (DEP)☒ cultural resource survey (CRAS)☐ historic photos☐ interior inspection☐ HABS/HAER record search☒ other methods (describe) Aerial photography

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually?

☐ yes☒ no☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☐ yes☒ no☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

This Masonry Vernacular condominium bldg exhibits a common style found in South Florida, features alts including replaced windows and material, and lacks historical associations. Therefore, it is considered ineligible for listing in the National Register

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notesMaintaining organization Janus Research

Document description _____

File or accession #'s _____

2) Document type Field mapsMaintaining organization Janus Research

Document description _____

File or accession #'s _____

RECORDER INFORMATIONRecorder Name Janus ResearchAffiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com

(address / phone / fax / e-mail)

Required Attachments**① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).

Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

PHOTOGRAPH

8DA19131

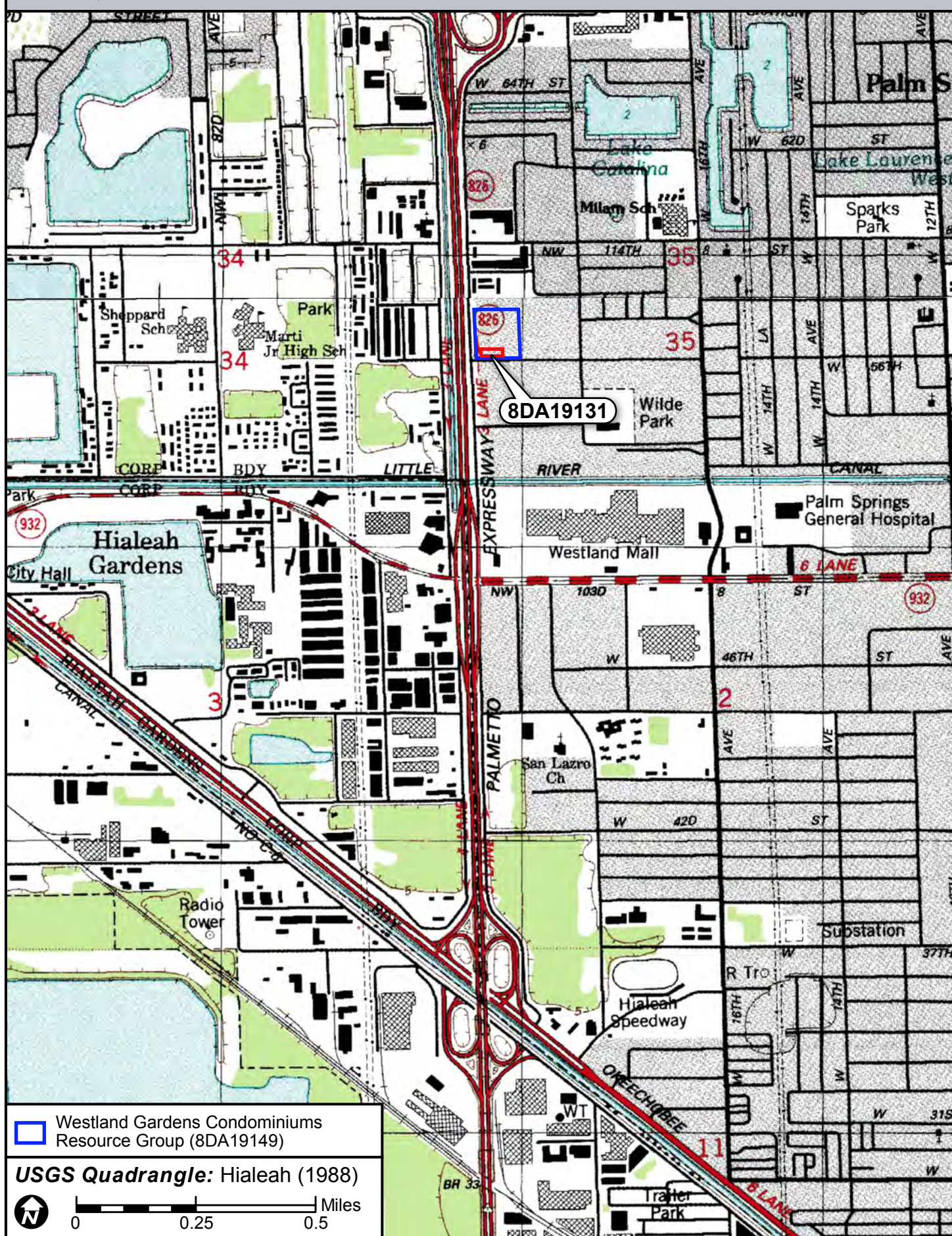


SKETCH MAP

8DA19131







☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19132**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 17

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Westland Gardens Condominiums Clubhouse Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number 5625 Direction W Street Name 20th Street Type Avenue Suffix Direction _____
 Cross Streets (nearest / between) NE corner W 20th Avenue at W 56th Street
 USGS 7.5 Map Name HIALEAH USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Hialeah In City Limits? ☒ yes ☐ no ☐ unknown County _____
 Township 52S Range 40E Section 35 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 04-2035-129-0001 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567885 Northing 2861933
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1972 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Clubhouse From (year): 1972 To (year): _____
 Current Use Clubhouse From (year): _____ To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 9-30-2020 Nature Windows/roof being replaced
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Square Number of Stories 2
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. _____ 2. _____ 3. _____
 Roof Material(s) 1. _____ 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____

Windows (types, materials, etc.)

Metal fixed one-light; second floor windows removed and being replaced

Distinguishing Architectural Features (exterior or interior ornaments)

Roof removed and being replaced, ongoing construction work

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

Clubhouse building w/ associated office building adjacent, square plan undergoing renovation; pool located W of both buildings

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)

DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. _____ 3. _____Foundation Type(s): 1. Continuous 2. _____Foundation Material(s): 1. Concrete Block 2. _____**Main Entrance (stylistic details)**

Main entrance obscured from surveyors

Porch Descriptions (types, locations, roof types, etc.)

Open wraparound balcony on second floor with metal railing

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

This Masonry Vernacular clubhouse bldg is 1 of 3 structures in APE comprising RG 8DA19149; structure is square in plan and ongoing renovation work throughout building (removed roof, 2nd floor windows); similar plan/design adjacent office bldg

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- | | | | |
|--|---|---|--|
| <input type="checkbox"/> FMSF record search (sites/surveys) | <input type="checkbox"/> library research | <input type="checkbox"/> building permits | <input type="checkbox"/> Sanborn maps |
| <input type="checkbox"/> FL State Archives/photo collection | <input type="checkbox"/> city directory | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps |
| <input checked="" type="checkbox"/> property appraiser / tax records | <input checked="" type="checkbox"/> newspaper files | <input type="checkbox"/> neighbor interview | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS) | <input type="checkbox"/> historic photos | <input type="checkbox"/> interior inspection | <input type="checkbox"/> HABS/HAER record search |
| <input checked="" type="checkbox"/> other methods (describe) <u>Aerial photography</u> | | | |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCEAppears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient informationAppears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

This Masonry Vernacular clubhouse bldg exhibits a common style found in South Florida, features alts including ongoing renovation work, and lacks historical associations. Therefore, it is considered ineligible for listing in the National Register

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____
DOCUMENTATION

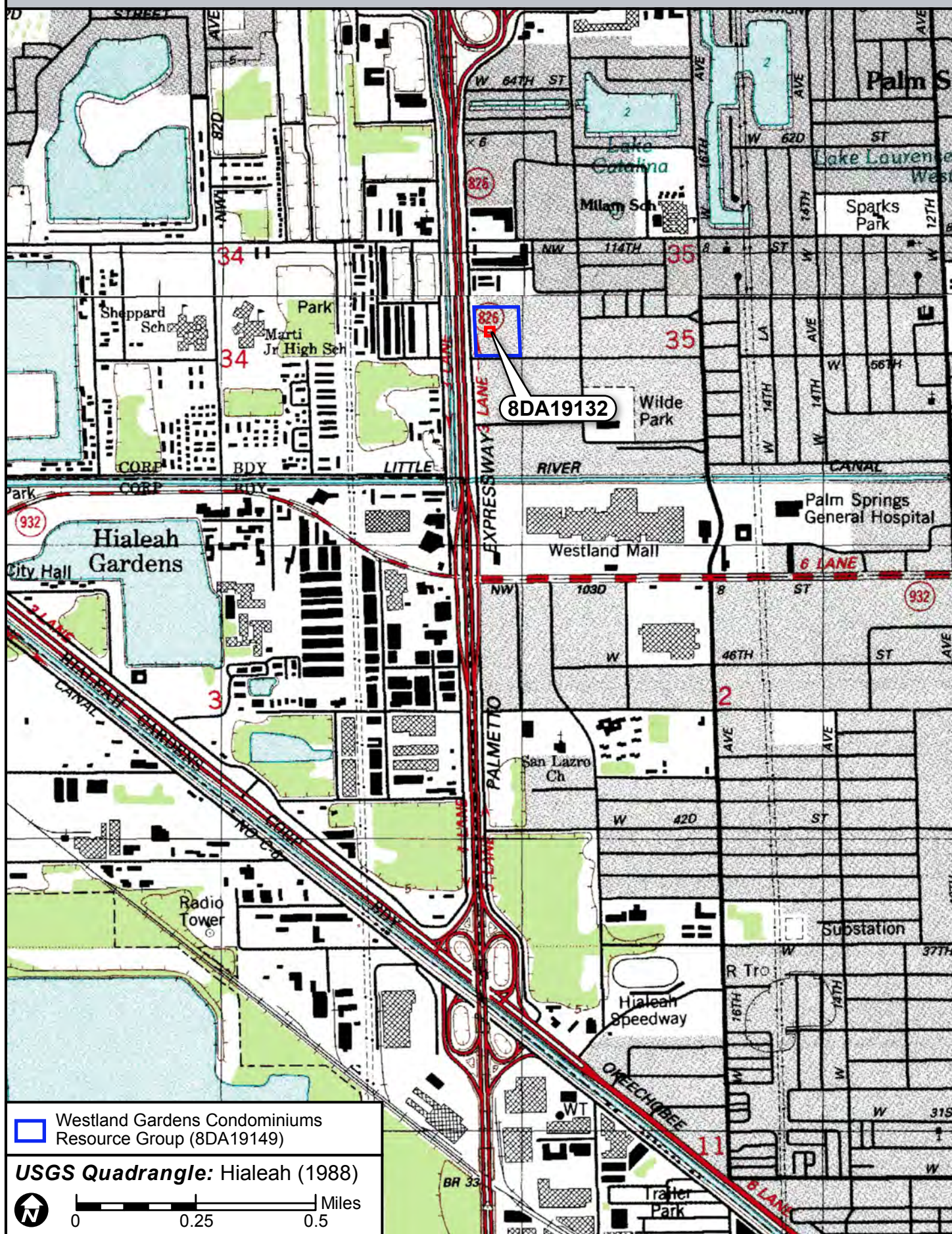
Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- | | |
|-------------------------------------|--|
| 1) Document type <u>Field notes</u> | Maintaining organization <u>Janus Research</u> |
| Document description _____ | File or accession #'s _____ |
| 2) Document type <u>Field maps</u> | Maintaining organization <u>Janus Research</u> |
| Document description _____ | File or accession #'s _____ |

RECORDER INFORMATIONRecorder Name Janus Research Affiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com
(address / phone / fax / e-mail)**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.







☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19133**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 32

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Westland Gardens Condominiums Bldg 5775 Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number 5775 Direction W Street Name 20th Street Type Avenue Suffix Direction _____
 Cross Streets (nearest / between) NE corner W 20th Avenue at W 56th Street
 USGS 7.5 Map Name HIALEAH USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Hialeah In City Limits? ☒ yes ☐ no ☐ unknown County _____
 Township 52S Range 40E Section 35 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 04-2035-129-0001 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567902 Northing 2862014
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1972 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Apartment From (year): 1972 To (year): _____
 Current Use Apartment From (year): _____ To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1-1-1990 Nature c1990s/2000s some replaced windows
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 4
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Flat 2. _____ 3. _____
 Roof Material(s) 1. Built-up 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. Parapet

Windows (types, materials, etc.)

Metal single-hung-sash two-over-two

Distinguishing Architectural Features (exterior or interior ornaments)

Stucco parapet/castellated detail along roof line between windows

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

1 of 6 structures in condo complex; complex enclosed in chain-link property fence has 2 driveway entrances w/ metal gates

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)

DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. _____ 3. _____Foundation Type(s): 1. Continuous 2. _____Foundation Material(s): 1. Concrete Block 2. _____**Main Entrance (stylistic details)**

Door on E facade under fabric awning

Porch Descriptions (types, locations, roof types, etc.)

Each condo unit has balcony, stucco base under projecting roof from unit balcony above, metal railing; some units have balconies next to neighboring unit separated by stucco wall

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

This Masonry Vernacular condominium bldg is 1 of 3 structures in APE comprising RG 8DA19149; structure is rectangular in plan w/ units on all 4 floors; some ground floor units have fenced outdoor space off patio

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**☐ FMSF record search (sites/surveys)☐ library research☐ building permits☐ Sanborn maps☐ FL State Archives/photo collection☐ city directory☐ occupant/owner interview☐ plat maps☒ property appraiser / tax records☒ newspaper files☐ neighbor interview☐ Public Lands Survey (DEP)☒ cultural resource survey (CRAS)☐ historic photos☐ interior inspection☐ HABS/HAER record search☒ other methods (describe) Aerial photography

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually?

☐ yes☒ no☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☐ yes☒ no☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

This Masonry Vernacular condominium bldg exhibits a common style found in South Florida, features alts including replaced windows and material, and lacks historical associations. Therefore, it is considered ineligible for listing in the National Register

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

Document type Field notesMaintaining organization Janus Research

1) Document description _____

File or accession #'s _____

Document type Field mapsMaintaining organization Janus Research

2) Document description _____

File or accession #'s _____

RECORDER INFORMATIONRecorder Name Janus ResearchAffiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com

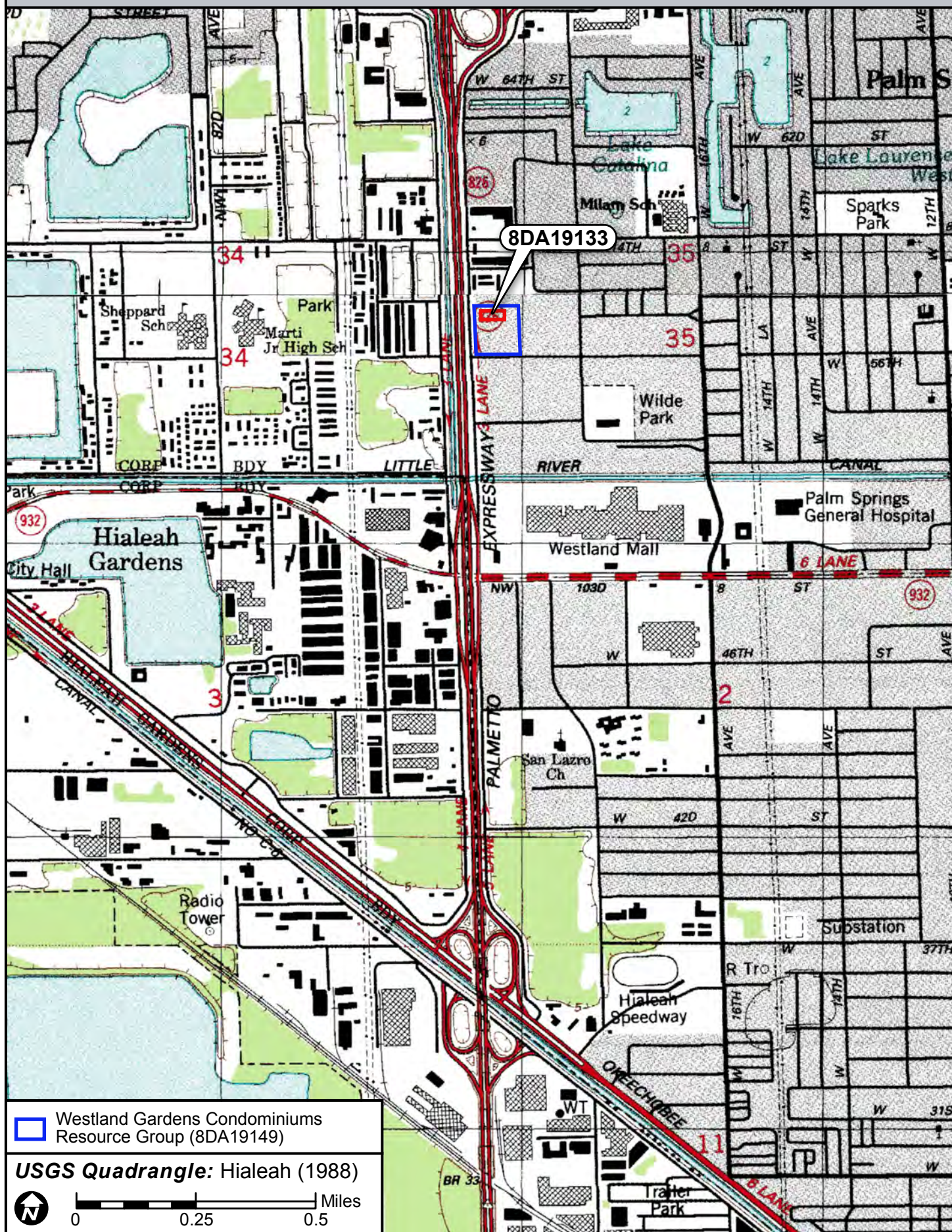
(address / phone / fax / e-mail)

Required Attachments**① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital **AND** hard copy format (plain paper grayscale acceptable).

Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.







☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19134**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 18

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) The Palmetto Residence Condominiums Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number 6075 Direction W Street Name 20th Street Type Avenue Suffix Direction _____
 Cross Streets (nearest / between) E Side NW 20th Avenue N of W 60th Street
 USGS 7.5 Map Name OPA-LOCKA USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Hialeah In City Limits? ☒ yes ☐ no ☐ unknown County _____
 Township 52S Range 40E Section 35 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 04-2035-133-0001 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567844 Northing 2862365
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1972 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Apartment From (year): 1972 To (year): _____
 Current Use Apartment From (year): _____ To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1-1-1990 Nature c1980s/1990s some replaced windows/doors
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan U-shaped Number of Stories 4
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Flat 2. _____ 3. _____
 Roof Material(s) 1. Built-up 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. Parapet

Windows (types, materials, etc.)

Metal single-hung-sash one-over-one; metal awning three-light; metal sliding two-light

Distinguishing Architectural Features (exterior or interior ornaments)

Concrete sills around windows on W facade; Concrete balustrade on balconies; stucco walls framing balconies w/ modular parapet above 4th floor

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

No outbuildings observed; 2 entrances to parcel w/ parking on ground floor b/w piers which elevate 3 floors of units

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)

DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. Metal skeleton 3. _____Foundation Type(s): 1. Piers 2. _____Foundation Material(s): 1. Poured Concrete Footing 2. _____**Main Entrance (stylistic details)**

Double metal/glass door on W facade provides access to lobby/elevators from street

Porch Descriptions (types, locations, roof types, etc.)

Each condo unit has balcony framed by projecting stucco walls, w/ concrete balustrade railings

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

This Masonry Vernacular condominium bldg features 3 floors of condo units above ground floor parking/office/lobby space; accessed via elevator stairwells of parking area; U-shaped plan forms central courtyard with pool/common space.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- | | | | |
|--|---|---|--|
| <input type="checkbox"/> FMSF record search (sites/surveys) | <input type="checkbox"/> library research | <input type="checkbox"/> building permits | <input type="checkbox"/> Sanborn maps |
| <input type="checkbox"/> FL State Archives/photo collection | <input type="checkbox"/> city directory | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps |
| <input checked="" type="checkbox"/> property appraiser / tax records | <input checked="" type="checkbox"/> newspaper files | <input type="checkbox"/> neighbor interview | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS) | <input type="checkbox"/> historic photos | <input type="checkbox"/> interior inspection | <input type="checkbox"/> HABS/HAER record search |
| <input checked="" type="checkbox"/> other methods (describe) <u>Aerial photography</u> | | | |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually?

☐ yes ☒ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

This Masonry Vernacular condominium bldg exhibits a common style found in South Florida, features alts including replaced windows and material, and lacks historical associations. Therefore, it is considered ineligible for listing in the National Register

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____
DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

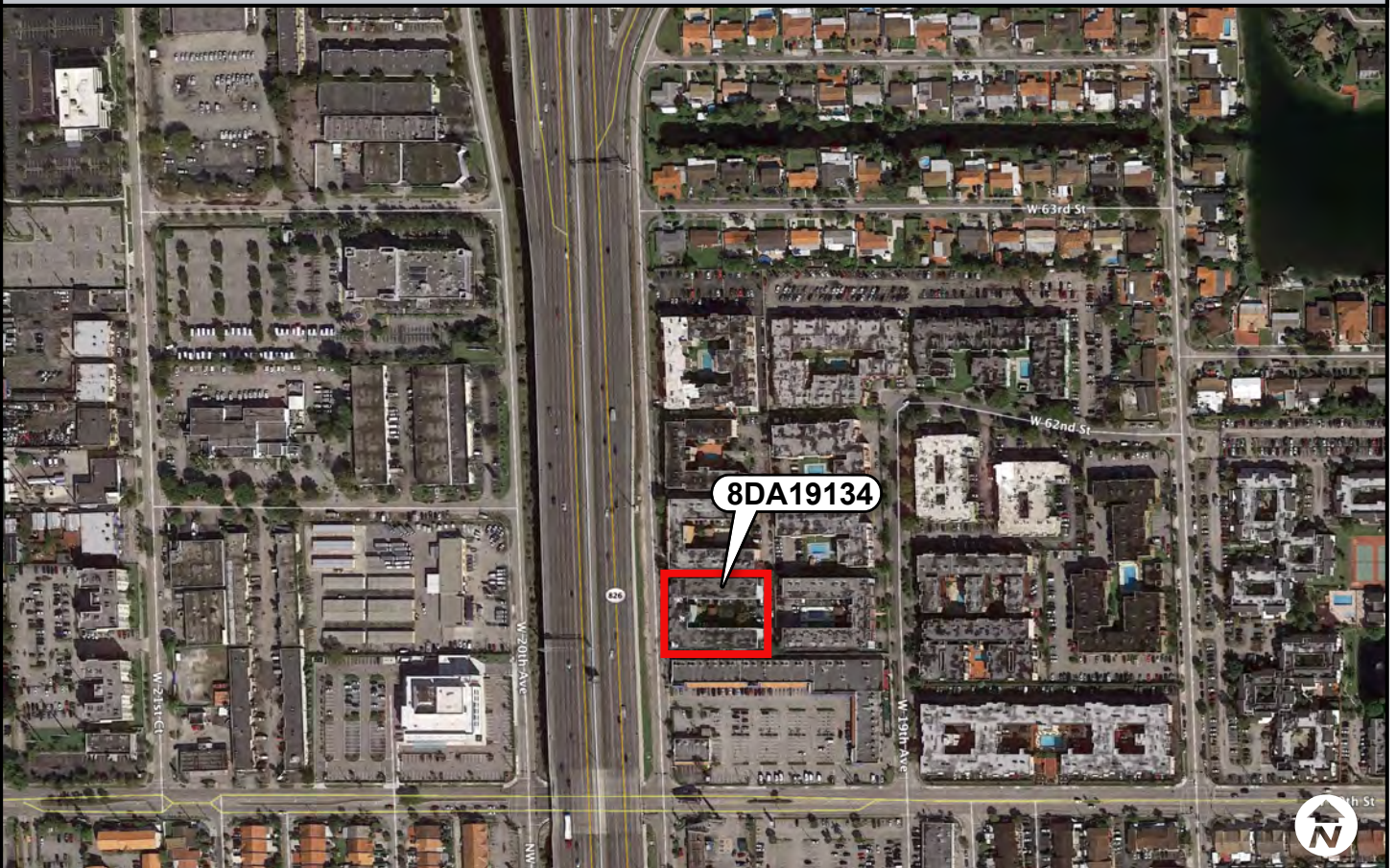
- | | |
|----------------------------------|--|
| Document type <u>Field notes</u> | Maintaining organization <u>Janus Research</u> |
| 1) Document description _____ | File or accession #'s _____ |
| Document type <u>Field maps</u> | Maintaining organization <u>Janus Research</u> |
| 2) Document description _____ | File or accession #'s _____ |

RECORDER INFORMATIONRecorder Name Janus ResearchAffiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com

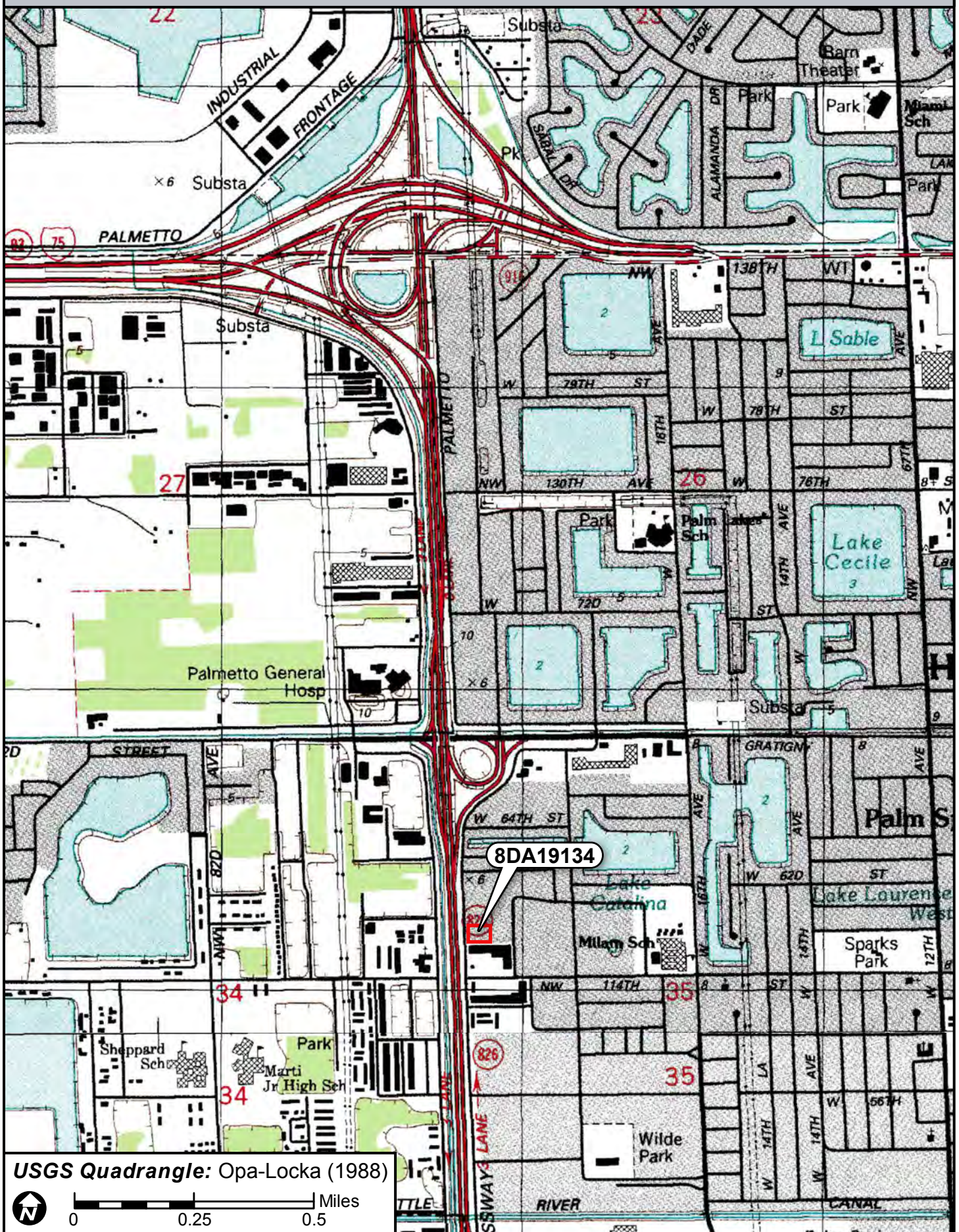
(address / phone / fax / e-mail)

Required Attachments**① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).

Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.







USGS Quadrangle: Opa-Locka (1988)



0 0.25 0.5 Miles

☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19135**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 19

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Palmetto Gardens North Condominiums Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number 6125 Direction W Street Name 20th Street Type Avenue Suffix Direction _____
 Cross Streets (nearest / between) E Side NW 20th Avenue N of W 60th Street
 USGS 7.5 Map Name OPA-LOCKA USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Hialeah In City Limits? ☒ yes ☐ no ☐ unknown County _____
 Township 52S Range 40E Section 35 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 04-2035-060-0001 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567845 Northing 2862422
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1974 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Apartment From (year): 1974 To (year): _____
 Current Use Apartment From (year): _____ To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1-1-1990 Nature c90s/00s replcd windows; enclosed porches
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan U-shaped Number of Stories 4
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Flat 2. Shed 3. _____
 Roof Material(s) 1. Built-up 2. Barrel tile 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____

Windows (types, materials, etc.)

Metal single-hung-sash one-over-one, two-over-two; metal awning three-light; vinyl sliding

Distinguishing Architectural Features (exterior or interior ornaments)

Stucco walls projecting from building enclose balconies on north and south ends; barrel tile shed roof over 4th floor balconies

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

No outbuildings observed; 2 entrances to parcel w/ parking on ground floor b/w piers which elevate 3 floors of units

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)

DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. Metal skeleton 3. _____Foundation Type(s): 1. Piers 2. _____Foundation Material(s): 1. Poured Concrete Footing 2. _____**Main Entrance (stylistic details)**

Double metal/glass door on W facade provides access to lobby/elevators from street

Porch Descriptions (types, locations, roof types, etc.)

Each condo unit has balcony framed by projecting stucco walls with metal railings, some have since been enclosed and turned into living space

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

This Masonry Vernacular condominium bldg features 3 floors of condo units above ground floor parking/office/lobby space; accessed via elevator/stairwells of parking area; U-shaped plan forms central courtyard with pool/common space.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- | | | | |
|--|---|---|--|
| <input type="checkbox"/> FMSF record search (sites/surveys) | <input type="checkbox"/> library research | <input type="checkbox"/> building permits | <input type="checkbox"/> Sanborn maps |
| <input type="checkbox"/> FL State Archives/photo collection | <input type="checkbox"/> city directory | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps |
| <input checked="" type="checkbox"/> property appraiser / tax records | <input checked="" type="checkbox"/> newspaper files | <input type="checkbox"/> neighbor interview | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS) | <input type="checkbox"/> historic photos | <input type="checkbox"/> interior inspection | <input type="checkbox"/> HABS/HAER record search |
| <input checked="" type="checkbox"/> other methods (describe) <u>Aerial photography</u> | | | |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCEAppears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient informationAppears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

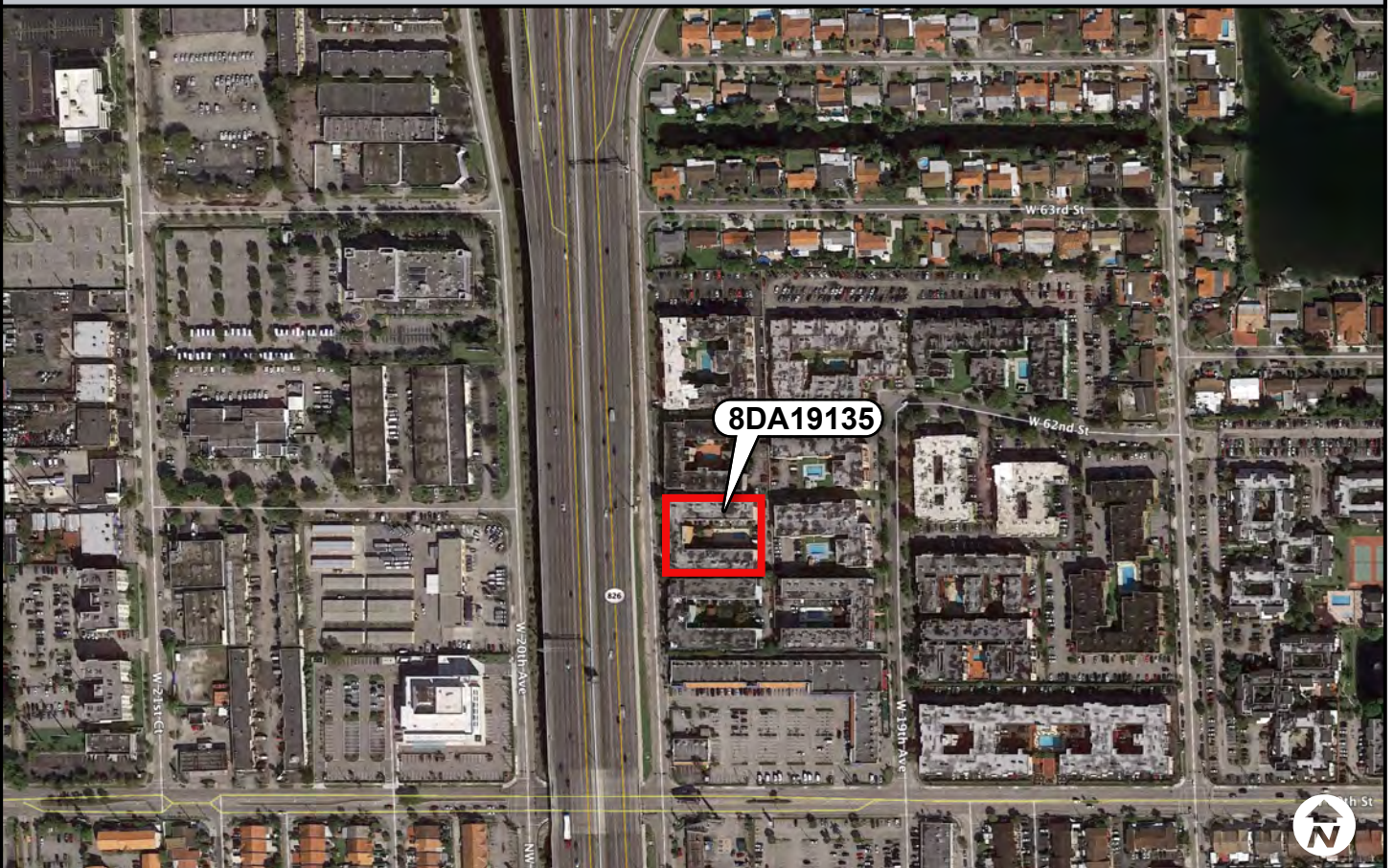
This Masonry Vernacular condominium bldg exhibits a common style found in South Florida, features alts including replaced windows and material, and lacks historical associations. Therefore, it is considered ineligible for listing in the National Register

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____
DOCUMENTATION

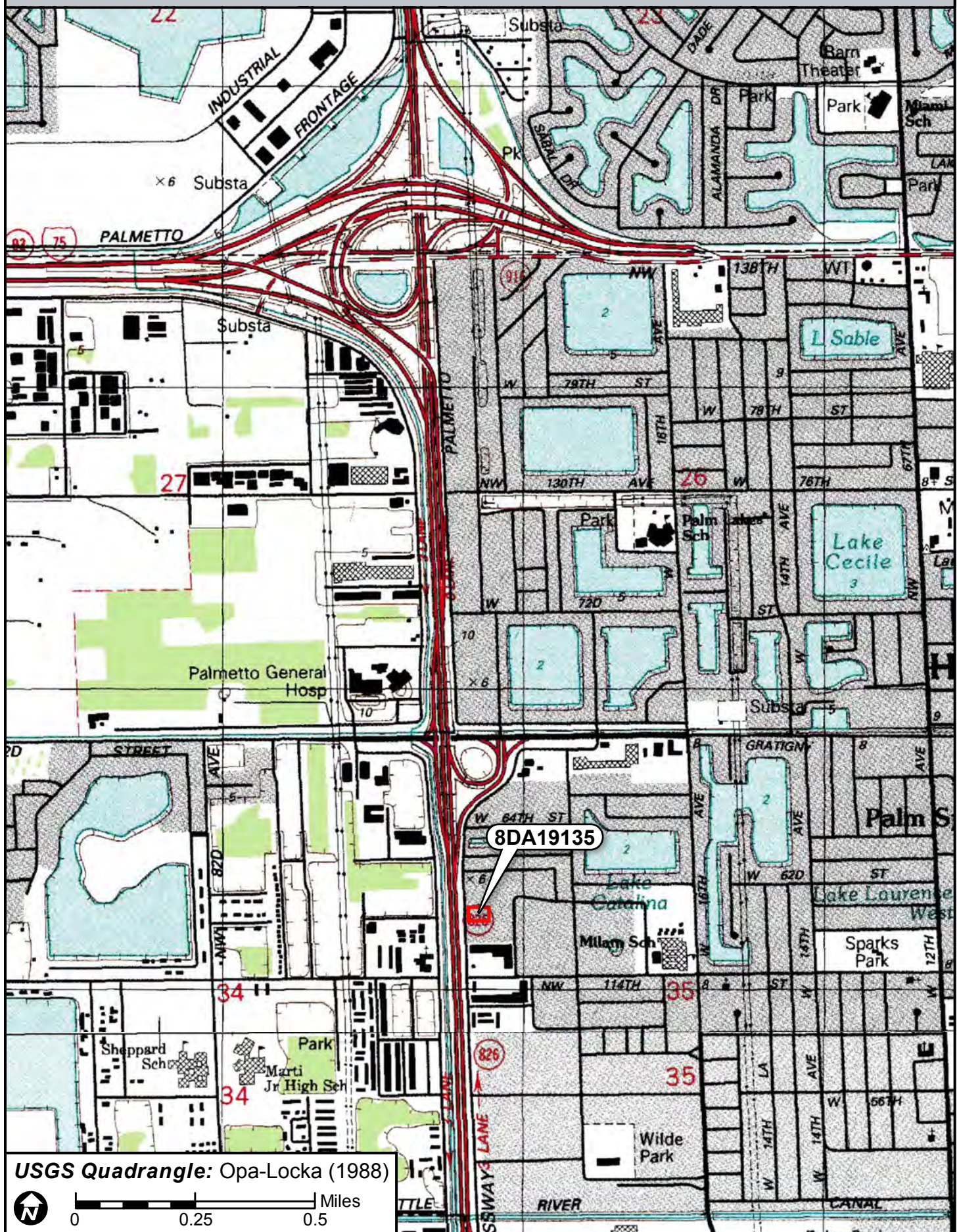
Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- | | |
|----------------------------------|--|
| Document type <u>Field notes</u> | Maintaining organization <u>Janus Research</u> |
| 1) Document description _____ | File or accession #'s _____ |
| Document type <u>Field maps</u> | Maintaining organization <u>Janus Research</u> |
| 2) Document description _____ | File or accession #'s _____ |

RECORDER INFORMATIONRecorder Name Janus Research Affiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com
(address / phone / fax / e-mail)**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.







☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19136**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 20

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Andes Condominiums Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: 6215 W 20th Avenue
 Cross Streets (nearest / between) E Side NW 20th Avenue S of W 63rd Street
 USGS 7.5 Map Name OPA-LOCKA USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Hialeah In City Limits? ☒ yes ☐ no ☐ unknown County _____
 Township 52S Range 40E Section 35 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 04-2035-056-0001 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567859 Northing 2862535
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1973 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Apartment From (year): 1973 To (year): _____
 Current Use Apartment From (year): _____ To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1-1-1990 Nature c80s/90s rplcd windows; enclosed porches
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Square Number of Stories 4
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Flat 2. _____ 3. _____
 Roof Material(s) 1. Built-up 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____

Windows (types, materials, etc.)

Metal single-hung-sash one-over-one, two-over-two, some paired; metal awning four-light, some paired; metal fixed one-light; 3-part curved metal fixed

Distinguishing Architectural Features (exterior or interior ornaments)

Hurricane shutters; Curved balcony openings; projection of balcony walls above roofline

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

No outbuildings observed; parking on ground floor b/w piers which elevate 3 floors of units, parking lot N of building

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)

DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. Metal skeleton 3. _____Foundation Type(s): 1. Piers 2. _____Foundation Material(s): 1. Poured Concrete Footing 2. _____**Main Entrance (stylistic details)**

Double metal/glass door on W facade provides access to lobby/elevators from street

Porch Descriptions (types, locations, roof types, etc.)

Each condo unit has balcony framed by projecting stucco walls with metal railings, some have since been enclosed and turned into living space; balconies framed by curved stucco opening

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

This Masonry Vernacular condominium bldg features 3 floors of condo units above ground floor parking/office/lobby space; accessed via elevator/stairwells of parking area; square shaped plan forms central courtyard with pool/common space.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**☐ FMSF record search (sites/surveys)☐ library research☐ building permits☐ Sanborn maps☐ FL State Archives/photo collection☐ city directory☐ occupant/owner interview☐ plat maps☒ property appraiser / tax records☒ newspaper files☐ neighbor interview☐ Public Lands Survey (DEP)☒ cultural resource survey (CRAS)☐ historic photos☐ interior inspection☐ HABS/HAER record search☒ other methods (describe) Aerial photography

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually?

☐ yes☒ no☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☐ yes☒ no☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

This Masonry Vernacular condominium bldg exhibits a common style found in South Florida, features alts including replaced windows and material, and lacks historical associations. Therefore, it is considered ineligible for listing in the National Register

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____

2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notesMaintaining organization Janus Research

Document description _____

File or accession #'s _____

2) Document type Field mapsMaintaining organization Janus Research

Document description _____

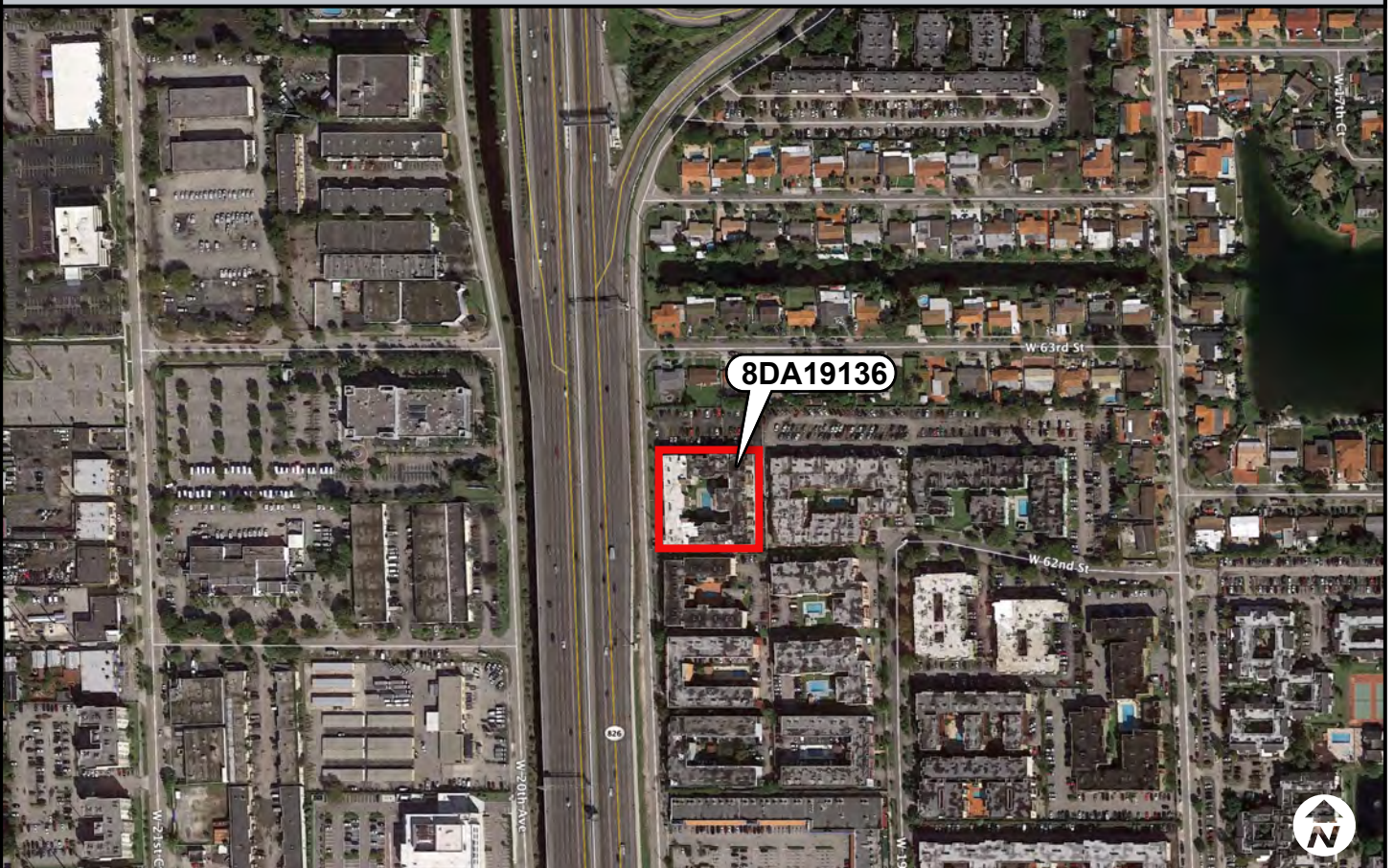
File or accession #'s _____

RECORDER INFORMATIONRecorder Name Janus ResearchAffiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com

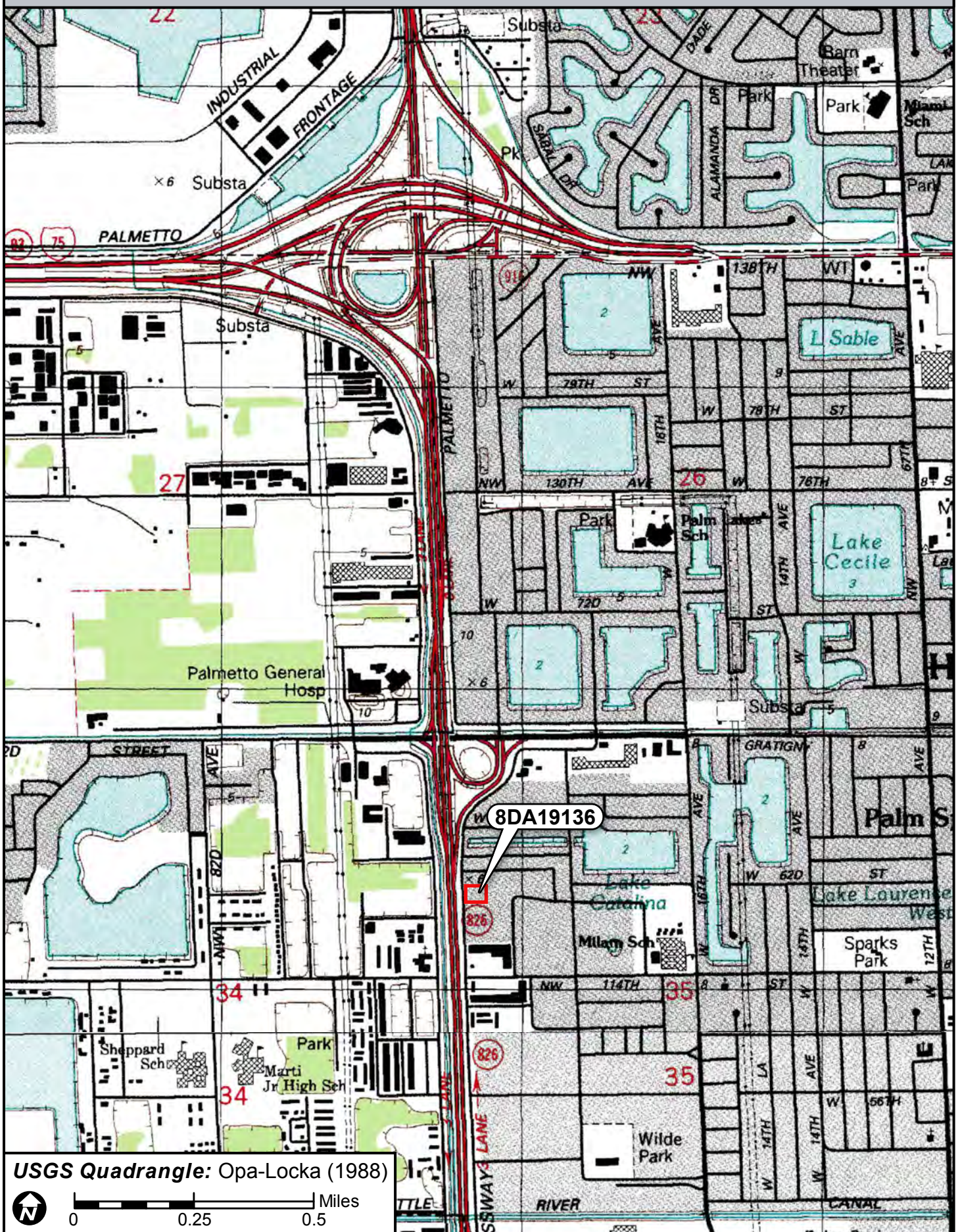
(address / phone / fax / e-mail)

Required Attachments**① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).

Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.







☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19137**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 21

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 1990 W 63rd Street Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number 1990 Direction W Street Name 63rd Street Type Street Suffix Direction _____
 Cross Streets (nearest / between) SE corner W 63rd Street at W 20th Avenue
 USGS 7.5 Map Name OPA-LOCKA USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Hialeah In City Limits? ☒ yes ☐ no ☐ unknown County _____
 Township 52S Range 40E Section 35 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 04-2035-033-0010 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567832 Northing 2862619
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1970 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Private Residence (House/Cottage/Ca From (year): 1970 To (year): _____
 Current Use Private Residence (House/Cottage/Ca From (year): _____ To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1-1-2000 Nature Replaced doors
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Irregular Number of Stories 1
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Hip 2. _____ 3. _____
 Roof Material(s) 1. Barrel tile 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____

Windows (types, materials, etc.)

Metal single-hung-sash one-over-one; metal awning three-light, five-light; some windows obscured

Distinguishing Architectural Features (exterior or interior ornaments)

Hurricane shutters; metal security bars; stamped stucco in brick pattern

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

1 shed SE corner of parcel; pool in backyard added c1975; curved driveway on N facade, stamped concrete

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)

DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. _____ 3. _____Foundation Type(s): 1. Continuous 2. _____Foundation Material(s): 1. Concrete Block 2. _____**Main Entrance (stylistic details)**

Double metal panel door with decorative window, off recessed porch on N facade

Porch Descriptions (types, locations, roof types, etc.)

Recessed concrete porch on N facade framed by concrete half-wall covered in stamped stucco; wall at walkway feature 2 lamps

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

This Masonry Vernacular residence features no additions, and retains the original windows. Hip roof features two perpendicular extensions, and exterior features stamped stucco.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**☐ FMSF record search (sites/surveys)☐ library research☐ building permits☐ Sanborn maps☐ FL State Archives/photo collection☐ city directory☐ occupant/owner interview☐ plat maps☒ property appraiser / tax records☒ newspaper files☐ neighbor interview☐ Public Lands Survey (DEP)☒ cultural resource survey (CRAS)☐ historic photos☐ interior inspection☐ HABS/HAER record search☒ other methods (describe) Aerial photography

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually?

☐ yes☒ no☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☐ yes☒ no☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

This Masonry Vernacular residence exhibits a common style found in South Florida, features alts including replaced doors and material, and lacks historical associations. Therefore, it is considered ineligible for listing in the National Register

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____

2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notesMaintaining organization Janus Research

Document description _____

File or accession #'s _____

2) Document type Field mapsMaintaining organization Janus Research

Document description _____

File or accession #'s _____

RECORDER INFORMATIONRecorder Name Janus ResearchAffiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com

(address / phone / fax / e-mail)

Required Attachments**① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital **AND** hard copy format (plain paper grayscale acceptable).

Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

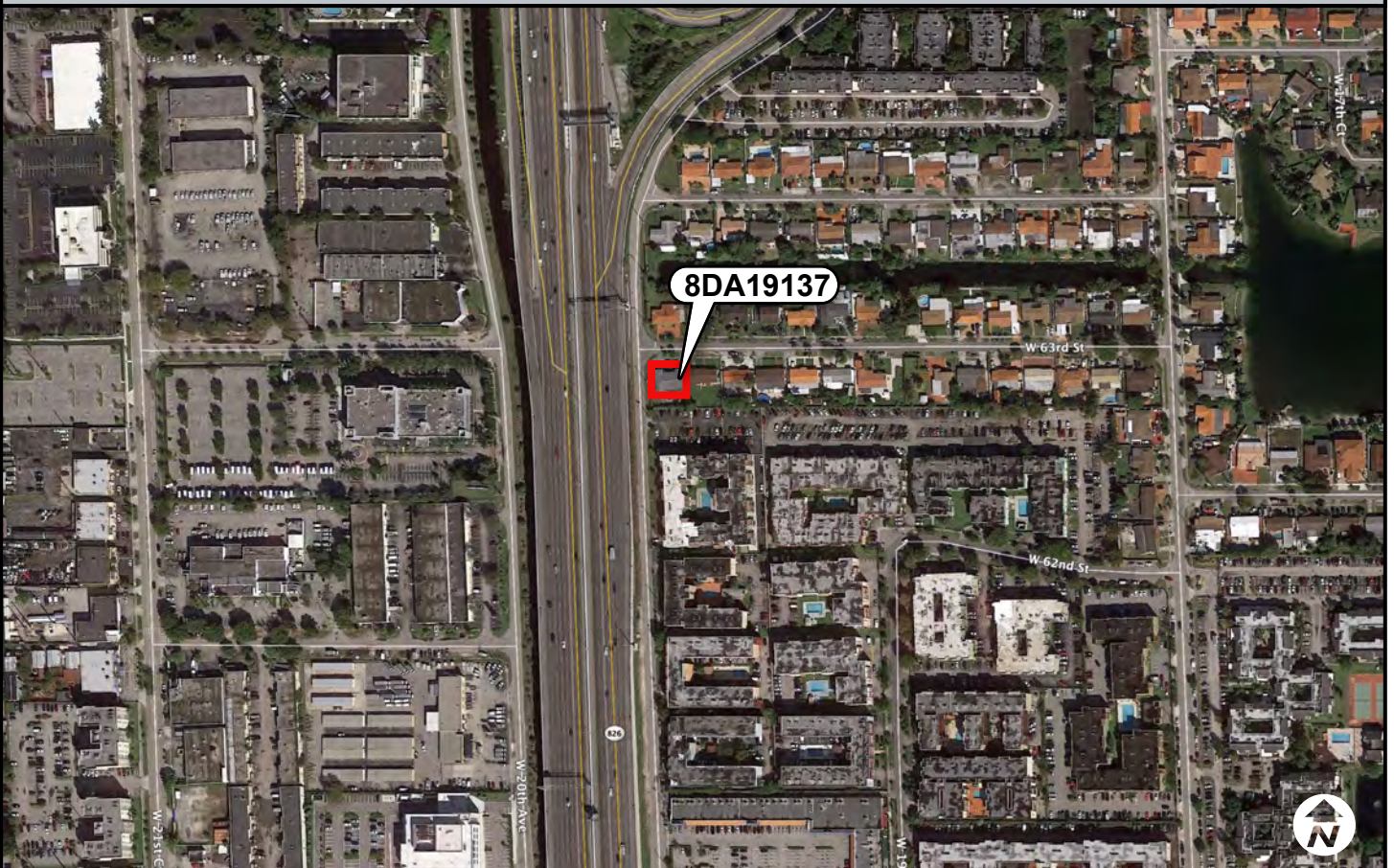
PHOTOGRAPH

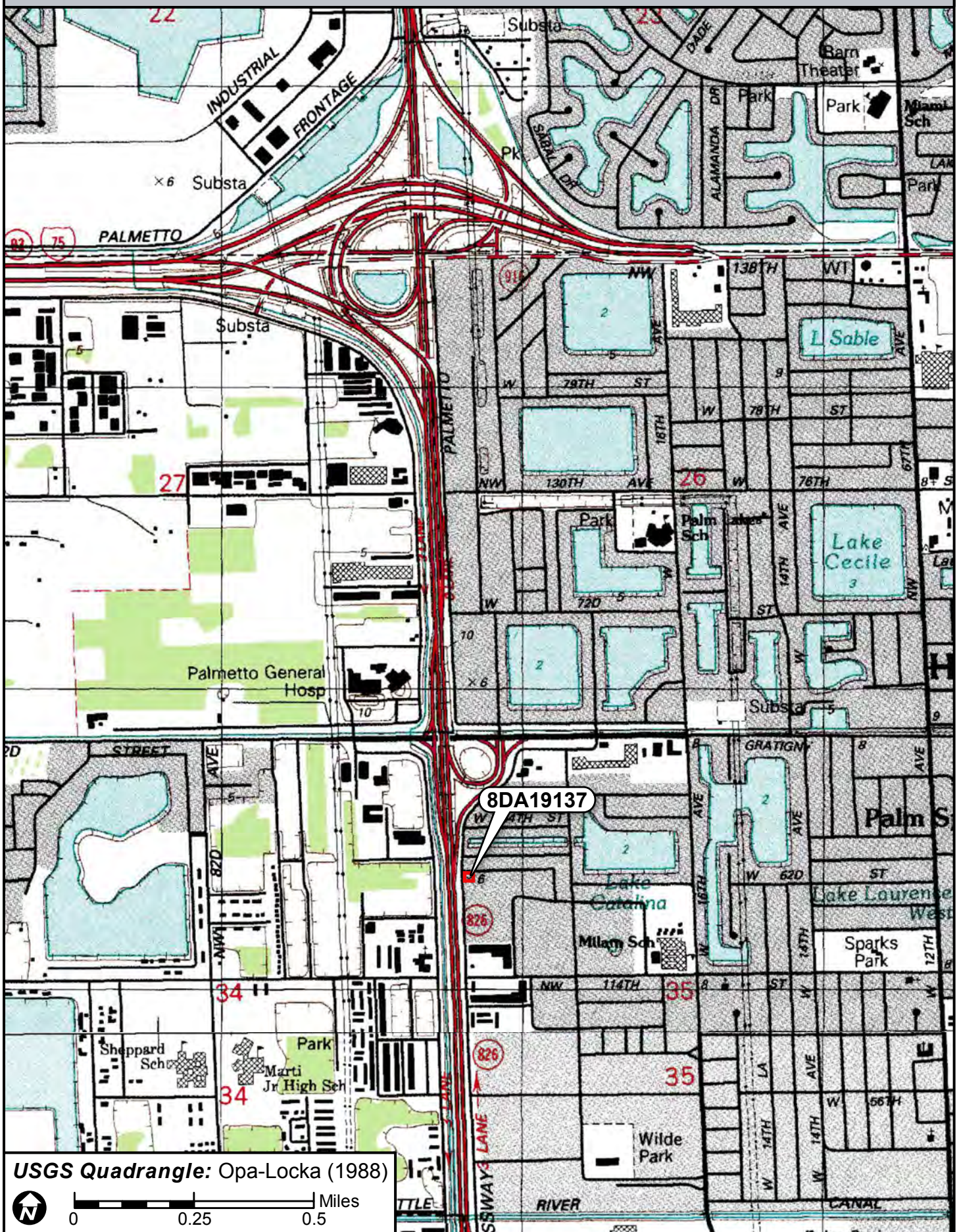
8DA19137



SKETCH MAP

8DA19137





☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19138**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 23

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 1999 W 63rd Street Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: 1999 W 63rd Street
 Cross Streets (nearest / between) NE corner W 63rd Street at W 20th Avenue
 USGS 7.5 Map Name OPA-LOCKA USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Hialeah In City Limits? ☒ yes ☐ no ☐ unknown County _____
 Township 52S Range 40E Section 35 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 04-2035-024-0700 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567830 Northing 2862662
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1964 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Private Residence (House/Cottage/Ca From (year): 1964 To (year): _____
 Current Use Private Residence (House/Cottage/Ca From (year): _____ To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☐ yes ☒ no ☐ unknown Date: _____ Nature None observed
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature None observed
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Irregular Number of Stories 1
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Hip 2. _____ 3. _____
 Roof Material(s) 1. Barrel tile 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____

Windows (types, materials, etc.)

Metal awning three-light, four-light; some paired

Distinguishing Architectural Features (exterior or interior ornaments)

Decorative security bars; stamped stucco sills in brick pattern

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

1 attached metal carport on E facade; corrugated metal roof; curved concrete driveway on S facade

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____ <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____ KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____ NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)	
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DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. _____ 3. _____Foundation Type(s): 1. Continuous 2. _____Foundation Material(s): 1. Concrete Block 2. _____**Main Entrance (stylistic details)**

Wood panel door behind metal security bars under shed extension on S facade, off concrete and tile entry porch

Porch Descriptions (types, locations, roof types, etc.)

Open S facade entry porch w/ decorative metal railing and tile underneath shed roof extension

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

This Masonry Vernacular residence features no additions or visible alterations. The garage on the SE corner is integrated to the house and connected to a non-historic metal carport on the E facade.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**☐ FMSF record search (sites/surveys)☐ library research☐ building permits☐ Sanborn maps☐ FL State Archives/photo collection☐ city directory☐ occupant/owner interview☐ plat maps☒ property appraiser / tax records☒ newspaper files☐ neighbor interview☐ Public Lands Survey (DEP)☒ cultural resource survey (CRAS)☐ historic photos☐ interior inspection☐ HABS/HAER record search☒ other methods (describe) Aerial photography

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually?

☐ yes☒ no☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☐ yes☒ no☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

This Masonry Vernacular residence exhibits a common style found in South Florida and lacks any known historical associations. Therefore, it is considered ineligible for listing in the National Register

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____

2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notesMaintaining organization Janus Research

Document description _____

File or accession #'s _____

2) Document type Field mapsMaintaining organization Janus Research

Document description _____

File or accession #'s _____

RECORDER INFORMATIONRecorder Name Janus ResearchAffiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com

(address / phone / fax / e-mail)

Required Attachments**① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).

Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

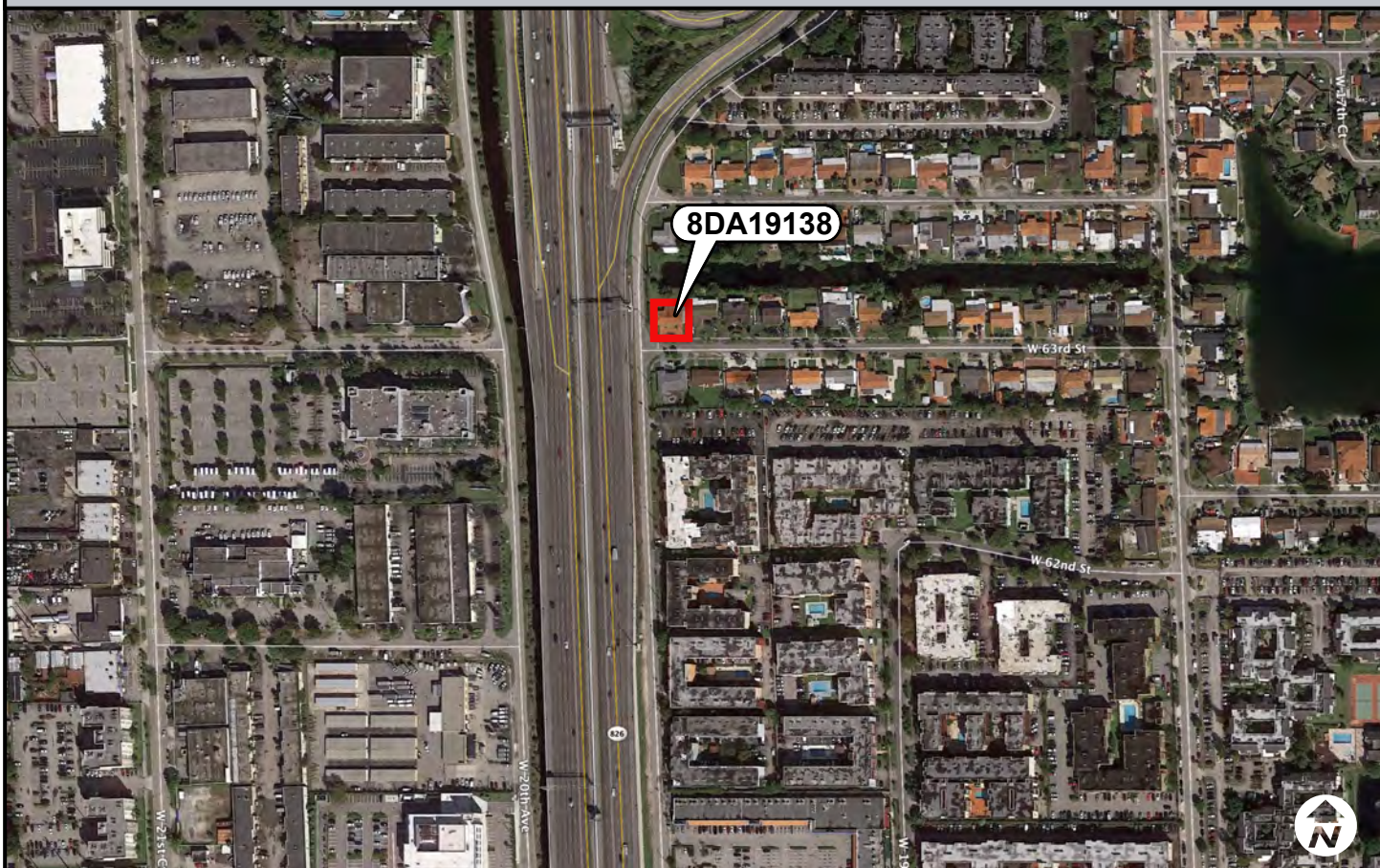
PHOTOGRAPH

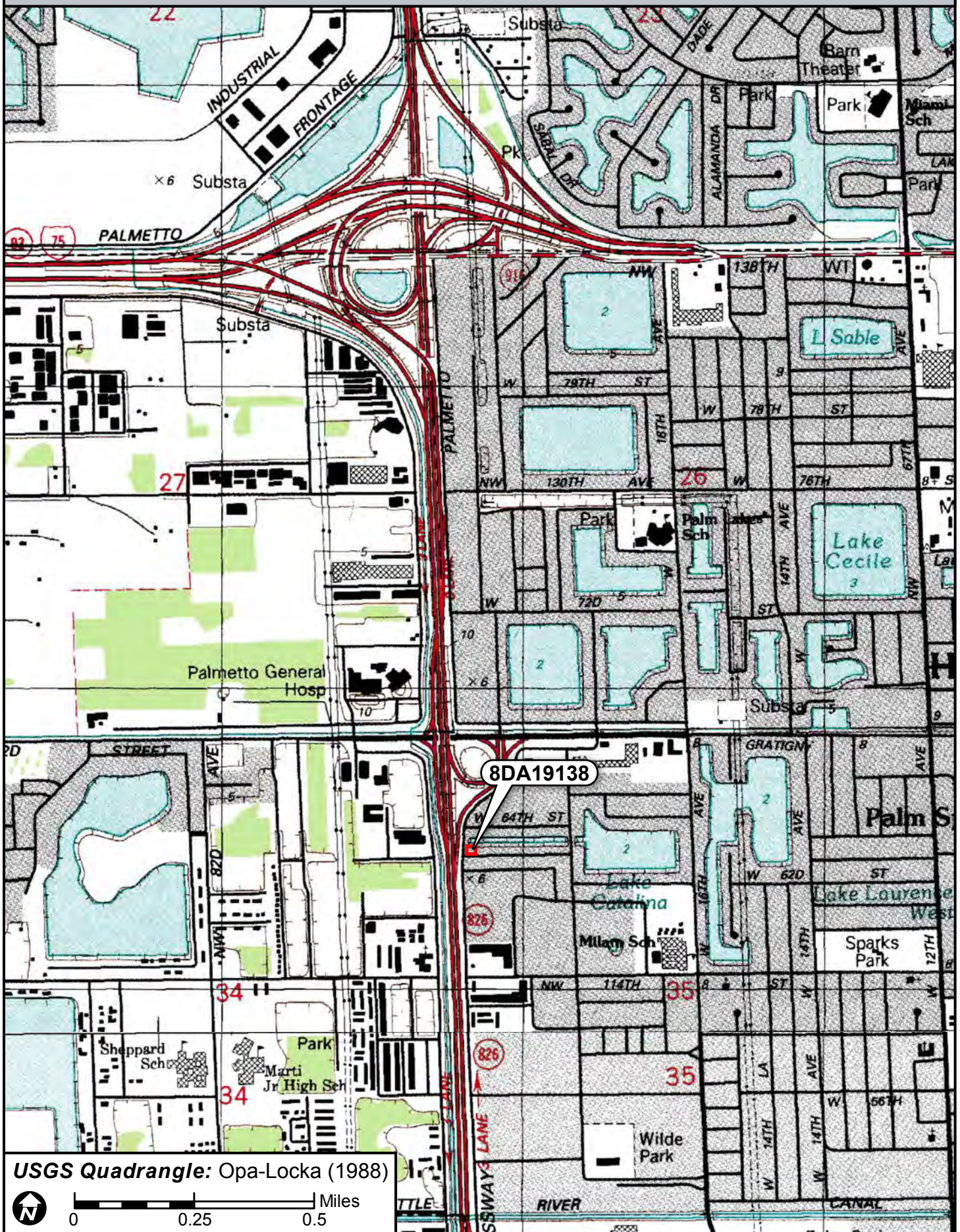
8DA19138



SKETCH MAP

8DA19138





☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19139**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 23

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 1998 W 64th Street Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: 1998 W 64th Street
 Cross Streets (nearest / between) SE corner W 64th Street at W 20th Avenue
 USGS 7.5 Map Name OPA-LOCKA USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Hialeah In City Limits? ☒ yes ☐ no ☐ unknown County _____
 Township 52S Range 40E Section 35 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 04-2035-024-0840 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567829 Northing 2862718
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1964 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Private Residence (House/Cottage/Ca From (year): 1964 To (year): _____
 Current Use Private Residence (House/Cottage/Ca From (year): _____ To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☐ yes ☒ no ☐ unknown Date: _____ Nature None observed
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature None observed
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan L-shaped Number of Stories 1
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Gable-intersecting 2. _____ 3. _____
 Roof Material(s) 1. Composition shingles 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____

Windows (types, materials, etc.)

Metal fixed one-light; metal sliding, some paired

Distinguishing Architectural Features (exterior or interior ornaments)

Decorative stone on lower half of North facade walls

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

None observed; carport on W facade under gable roof supported by 2 square columns; post&beam wooden fence at property line

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)

DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. _____ 3. _____Foundation Type(s): 1. Continuous 2. _____Foundation Material(s): 1. Concrete Block 2. _____**Main Entrance (stylistic details)**

Wood and glass door on N facade off entry porch

Porch Descriptions (types, locations, roof types, etc.)

Open N facade entry porch w/ tile underneath gable roof overhang

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

This Masonry Vernacular residence features no additions and several alterations including replaced windows/doors. The carport is integrated to the house and connected to gable roof.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**☐ FMSF record search (sites/surveys)☐ library research☐ building permits☐ Sanborn maps☐ FL State Archives/photo collection☐ city directory☐ occupant/owner interview☐ plat maps☒ property appraiser / tax records☒ newspaper files☐ neighbor interview☐ Public Lands Survey (DEP)☒ cultural resource survey (CRAS)☐ historic photos☐ interior inspection☐ HABS/HAER record search☒ other methods (describe) Aerial photography

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually?

☐ yes☒ no☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☐ yes☒ no☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

This Masonry Vernacular residence exhibits a common style found in South Florida, alterations including replaced windows and materials, and lacks known historical associations. Therefore, it is considered ineligible for listing in the National Register.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____

2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notesMaintaining organization Janus Research

Document description _____

File or accession #'s _____

2) Document type Field mapsMaintaining organization Janus Research

Document description _____

File or accession #'s _____

RECORDER INFORMATIONRecorder Name Janus ResearchAffiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com

(address / phone / fax / e-mail)

Required Attachments**① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).

Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

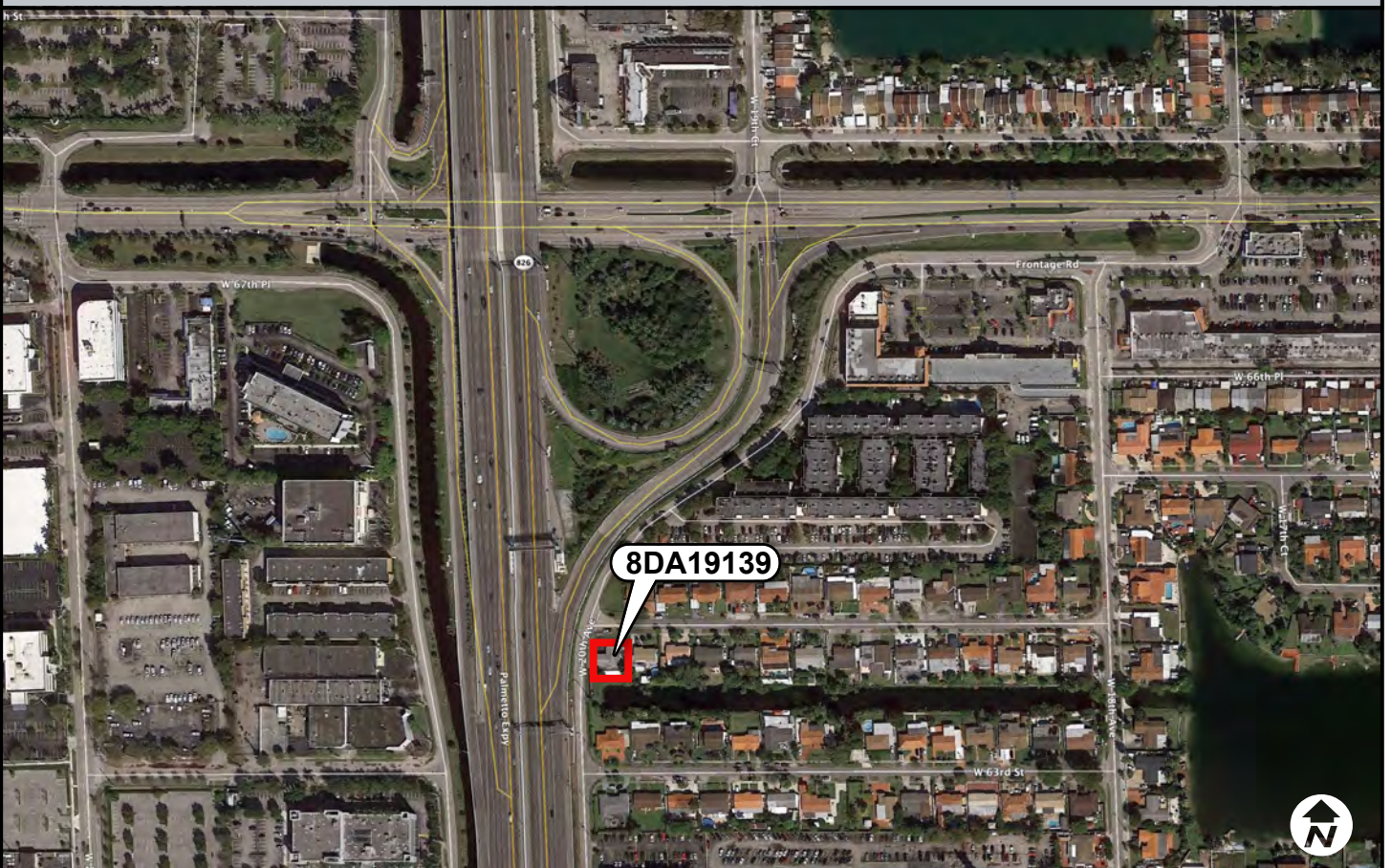
PHOTOGRAPH

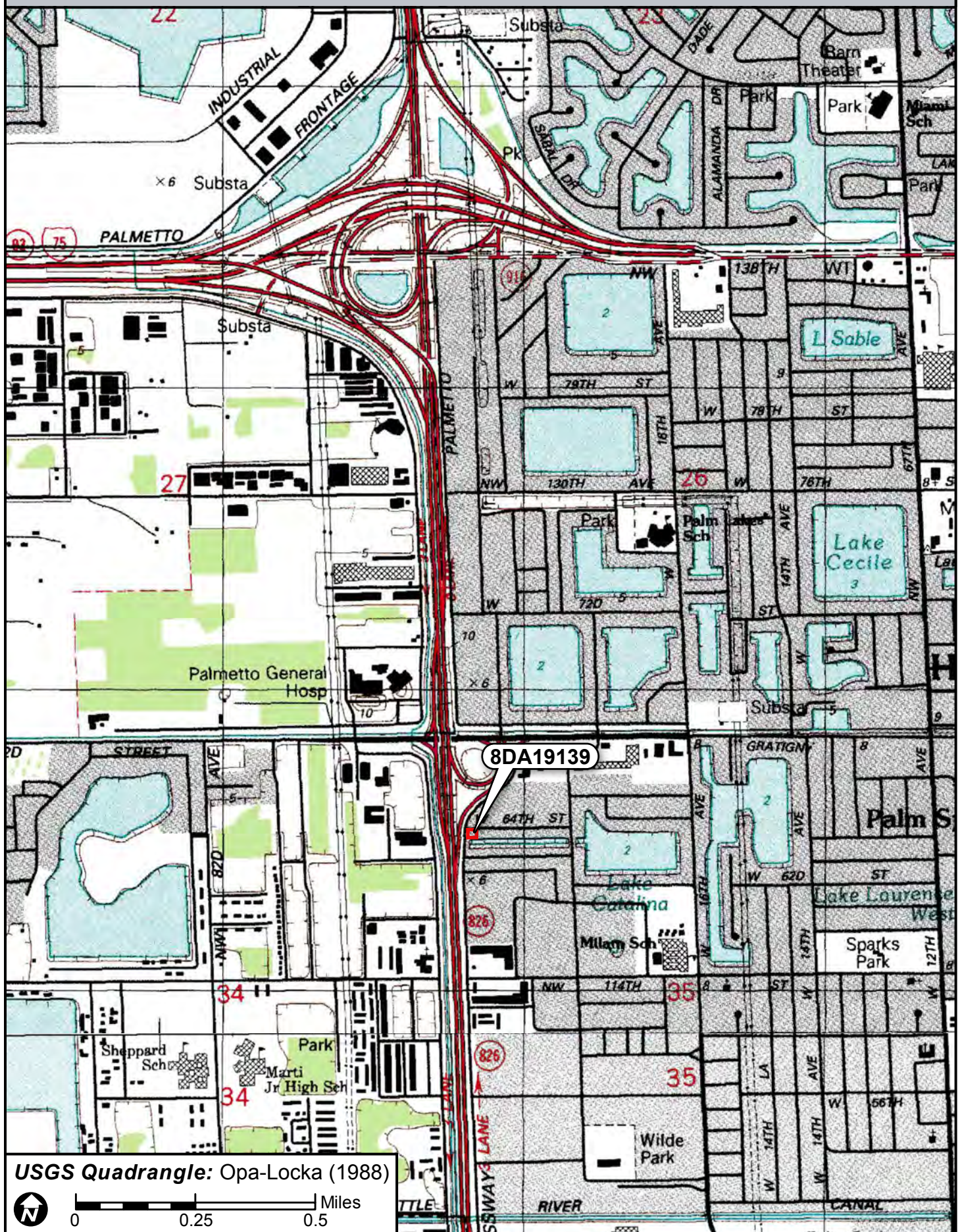
8DA19139



SKETCH MAP

8DA19139





☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19140**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 24

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 1975 W 64th Street Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number 1975 Direction W Street Name 64th Street Type Street Suffix Direction _____
 Cross Streets (nearest / between) NE corner W 64th Street at W 20th Avenue
 USGS 7.5 Map Name OPA-LOCKA USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Hialeah In City Limits? ☒ yes ☐ no ☐ unknown County _____
 Township 52S Range 40E Section 35 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 04-2035-031-0020 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567849 Northing 2862762
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1968 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Private Residence (House/Cottage/Ca From (year): 1968 To (year): _____
 Current Use Private Residence (House/Cottage/Ca From (year): _____ To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☐ yes ☒ no ☐ unknown Date: _____ Nature None observed
 Additions: ☒ yes ☐ no ☐ unknown Date: 1-1-1975 Nature N facade shed roof add
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 1
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Gable 2. _____ 3. _____
 Roof Material(s) 1. Barrel tile 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____

Windows (types, materials, etc.)

Metal awning five-light, three-light; some paired

Distinguishing Architectural Features (exterior or interior ornaments)

Security bars; decorative stone on S facade walls

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

None observed; u-shaped stamped concrete driveway on S facade

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)

DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. _____ 3. _____Foundation Type(s): 1. Continuous 2. _____Foundation Material(s): 1. Concrete Block 2. _____**Main Entrance (stylistic details)**

Wood panel door w/ windows on S facade off recessed entry porch

Porch Descriptions (types, locations, roof types, etc.)

S facade recessed entry porch under gable roof overhang, porch is tiled

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

This Masonry Vernacular residence features one c1975 addition on the N facade, a privacy fence enclosing the rear yard, and large driveway and entry porch on S facade.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**☐ FMSF record search (sites/surveys)☐ library research☐ building permits☐ Sanborn maps☐ FL State Archives/photo collection☐ city directory☐ occupant/owner interview☐ plat maps☒ property appraiser / tax records☒ newspaper files☐ neighbor interview☐ Public Lands Survey (DEP)☒ cultural resource survey (CRAS)☐ historic photos☐ interior inspection☐ HABS/HAER record search☒ other methods (describe) Aerial photography

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually?

☐ yes☒ no☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☐ yes☒ no☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

This Masonry Vernacular residence exhibits a common style found in South Florida, at least one addition, and lacks known historical associations. Therefore, it is considered ineligible for listing in the National Register.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____

2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notesMaintaining organization Janus Research

Document description _____

File or accession #'s _____

2) Document type Field mapsMaintaining organization Janus Research

Document description _____

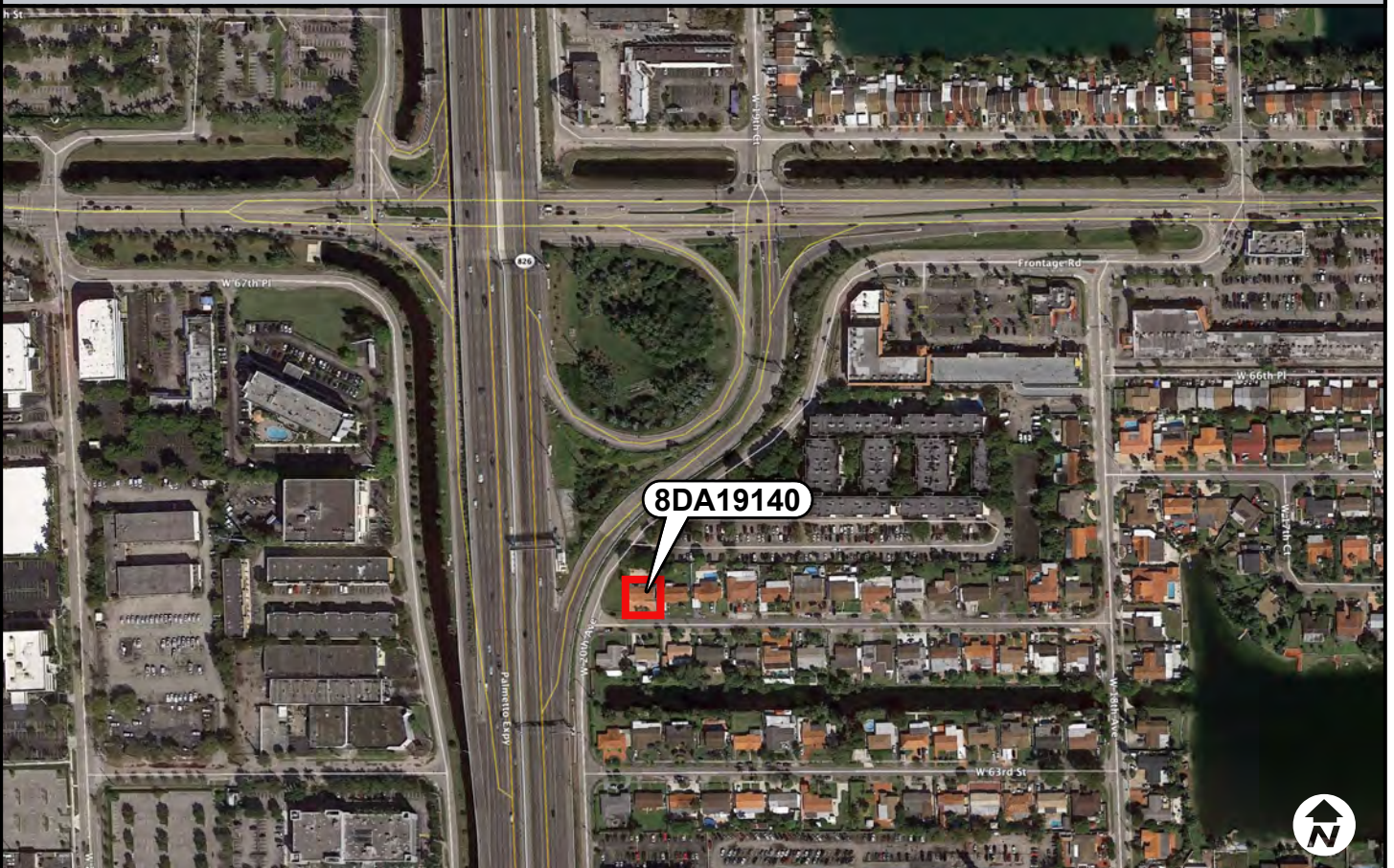
File or accession #'s _____

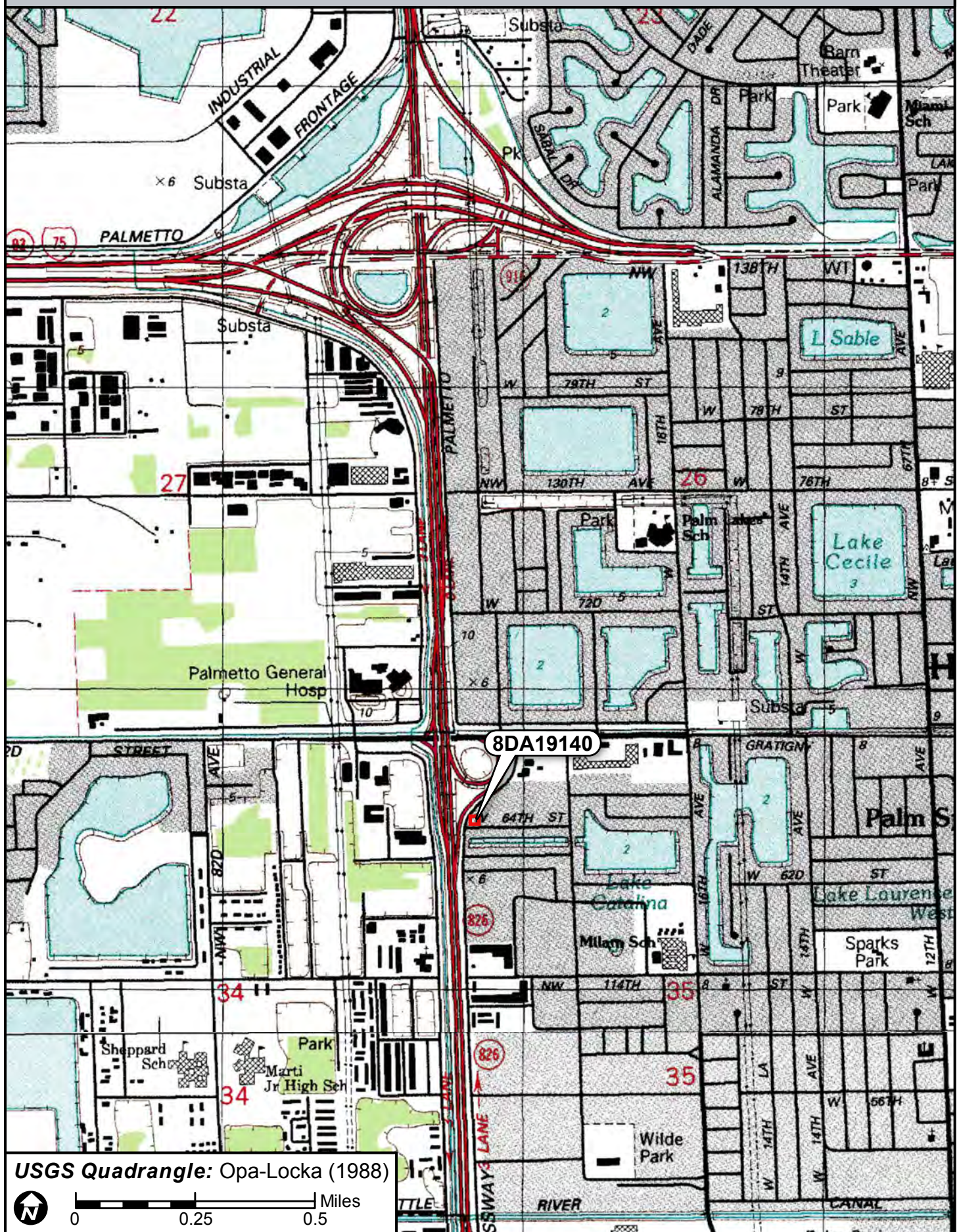
RECORDER INFORMATIONRecorder Name Janus ResearchAffiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com

(address / phone / fax / e-mail)

Required Attachments**① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital **AND** hard copy format (plain paper grayscale acceptable).

Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.





☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19141**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 25

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Los Arboles Condominiums Building 1 Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number 1990 Direction W Street Name 68th Street Type Street Suffix Direction _____
 Cross Streets (nearest / between) E Side NW 20th Avenue S of W 67th Place
 USGS 7.5 Map Name OPA-LOCKA USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Hialeah In City Limits? ☒ yes ☐ no ☐ unknown County _____
 Township 52S Range 40E Section 35 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 04-2035-113-0001 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567931 Northing 2862822
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1973 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Apartment From (year): 1973 To (year): _____
 Current Use Apartment From (year): _____ To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1-1-1985 Nature c80s/90s rplcd windows; enclosed porches
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 4
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Flat 2. _____ 3. _____
 Roof Material(s) 1. Built-up 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____

Windows (types, materials, etc.)
Metal single-hung-sash one-over-one, two-over-two, some paired; metal awning five-light

Distinguishing Architectural Features (exterior or interior ornaments)
Stucco projection from main block encloses balconies on north/south facades; S portion of bldg open on ground floor w/ parking below 3 floors of units

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)
Small square stucco guardhouse/office in SW corner w/ hip barrel tile roof; metal property fence and security gates at driveways

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)

DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. Metal skeleton 3. _____Foundation Type(s): 1. Piers 2. _____Foundation Material(s): 1. Poured Concrete Footing 2. _____**Main Entrance (stylistic details)**

Main entrance obscured, ext staircases w/ stucco walls & metal railings & elevator banks provide access from parking area

Porch Descriptions (types, locations, roof types, etc.)

Each condo unit has balcony framed by projecting stucco walls with metal railings, some have since been enclosed and turned into living space w/ fixed windows or stucco walls

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

This Masonry Vernacular condominium bldg is comprised of 4 blocks, 3 S facing are 4-stories & 1 N facing is 3-stories; connected via breezeways/staircases under shared roof; no additions but several repl windows and enclosed porches c1980s/1990s.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- | | | | |
|--|---|---|--|
| <input type="checkbox"/> FMSF record search (sites/surveys) | <input type="checkbox"/> library research | <input type="checkbox"/> building permits | <input type="checkbox"/> Sanborn maps |
| <input type="checkbox"/> FL State Archives/photo collection | <input type="checkbox"/> city directory | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps |
| <input checked="" type="checkbox"/> property appraiser / tax records | <input checked="" type="checkbox"/> newspaper files | <input type="checkbox"/> neighbor interview | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS) | <input type="checkbox"/> historic photos | <input type="checkbox"/> interior inspection | <input type="checkbox"/> HABS/HAER record search |
| <input checked="" type="checkbox"/> other methods (describe) <u>Aerial photography</u> | | | |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCEAppears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient informationAppears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

This Masonry Vernacular condominium bldg exhibits a common style found in South Florida, features alts including replaced windows and material, and lacks historical associations. Therefore, it is considered ineligible for listing in the National Register

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- | | |
|----------------------------------|--|
| Document type <u>Field notes</u> | Maintaining organization <u>Janus Research</u> |
| 1) Document description _____ | File or accession #'s _____ |
| Document type <u>Field maps</u> | Maintaining organization <u>Janus Research</u> |
| 2) Document description _____ | File or accession #'s _____ |

RECORDER INFORMATIONRecorder Name Janus Research Affiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com
(address / phone / fax / e-mail)**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



PHOTOGRAPH

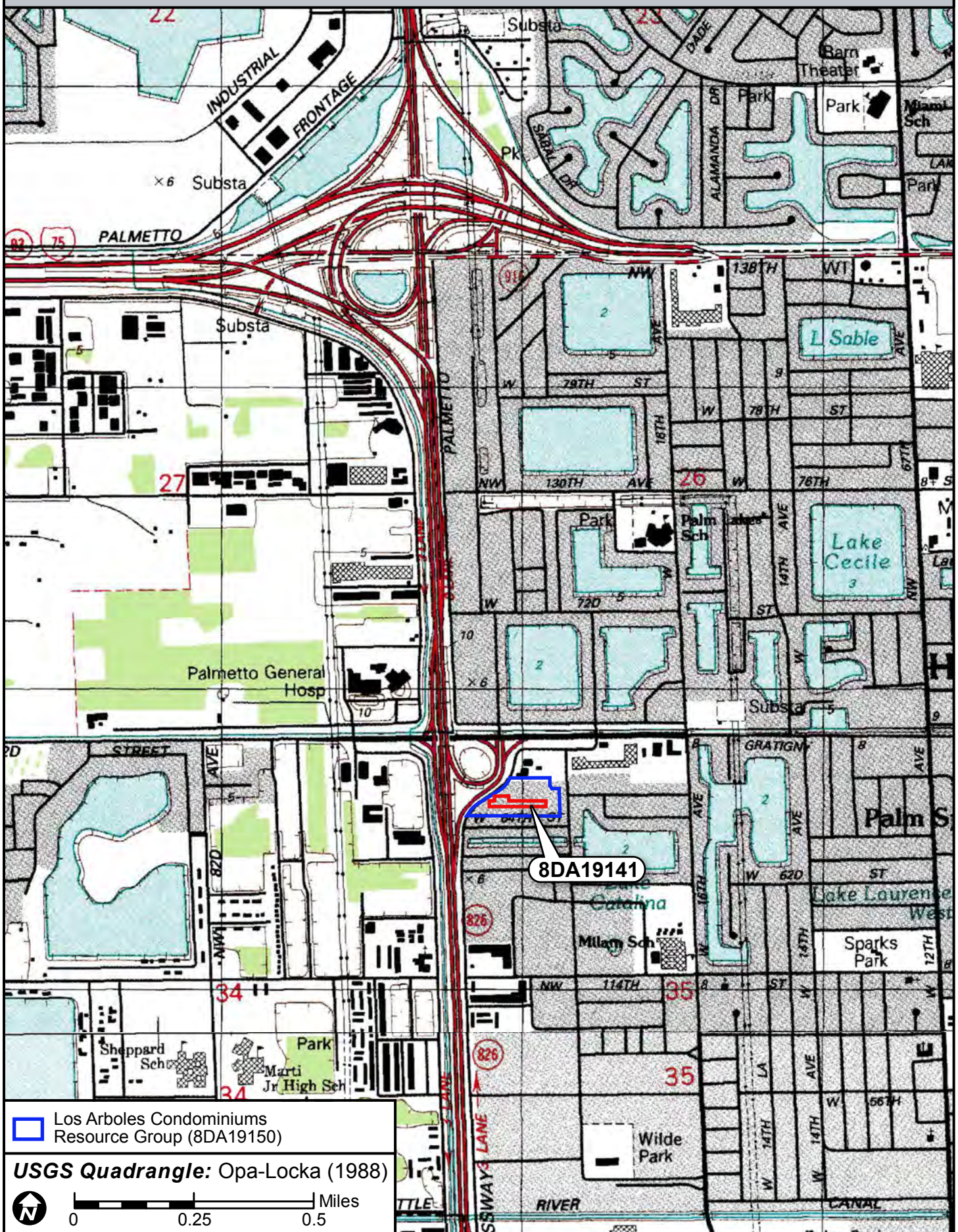
8DA19141



PHOTOGRAPH

8DA19141





☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19142**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 26

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Los Arboles Condominiums Building 2 Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number 1990 Direction W Street Name 68th Street Type Street Suffix Direction _____
 Cross Streets (nearest / between) E Side NW 20th Avenue S of W 67th Place
 USGS 7.5 Map Name OPA-LOCKA USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Hialeah In City Limits? ☒ yes ☐ no ☐ unknown County _____
 Township 52S Range 40E Section 35 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 04-2035-113-0001 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567973 Northing 2862850
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1973 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Apartment From (year): 1973 To (year): _____
 Current Use Apartment From (year): _____ To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1-1-1985 Nature c80s/90s replcd windows; enclosed porches
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 3
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Flat 2. _____ 3. _____
 Roof Material(s) 1. Built-up 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____

Windows (types, materials, etc.)

Metal single-hung-sash one-over-one, two-over-two, some paired; metal awning four-light, five-light; metal fixed one-light

Distinguishing Architectural Features (exterior or interior ornaments)

Stucco projections enclose balconies on east/west facades; some balconies enclosed w/ fixed windows or walls

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

1 of 4 buildings oriented E/W b/w 2 long N/S buildings (8DA19141&8DA19143); interior bldgs accessed via concrete sidewalks/breezeways

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)

DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. _____ 3. _____Foundation Type(s): 1. Slab 2. _____Foundation Material(s): 1. Concrete, Generic 2. _____**Main Entrance (stylistic details)**

Main entrance obscured, upper floors likely accessed via exterior staircases w/ metal railings

Porch Descriptions (types, locations, roof types, etc.)

Each condo unit has balcony framed by projecting stucco walls with metal railings, some have since been enclosed and turned into living space w/ fixed windows or stucco walls

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

This Masonry Vernacular condominium bldg is 3-stories and oriented E/W, located in between 2 long bldgs oriented N/S; alts include replaced windows/exterior material/and some enclosed balconies; obscured by other bldgs in complex/trees

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**☐ FMSF record search (sites/surveys)☐ library research☐ building permits☐ Sanborn maps☐ FL State Archives/photo collection☐ city directory☐ occupant/owner interview☐ plat maps☒ property appraiser / tax records☒ newspaper files☐ neighbor interview☐ Public Lands Survey (DEP)☒ cultural resource survey (CRAS)☐ historic photos☐ interior inspection☐ HABS/HAER record search☒ other methods (describe) Aerial photography

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually?

☐ yes☒ no☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district?

☐ yes☒ no☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

This Masonry Vernacular condominium bldg exhibits a common style found in South Florida, features alts including replaced windows and material, and lacks historical associations. Therefore, it is considered ineligible for listing in the National Register

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notesMaintaining organization Janus Research

Document description _____

File or accession #'s _____

2) Document type Field mapsMaintaining organization Janus Research

Document description _____

File or accession #'s _____

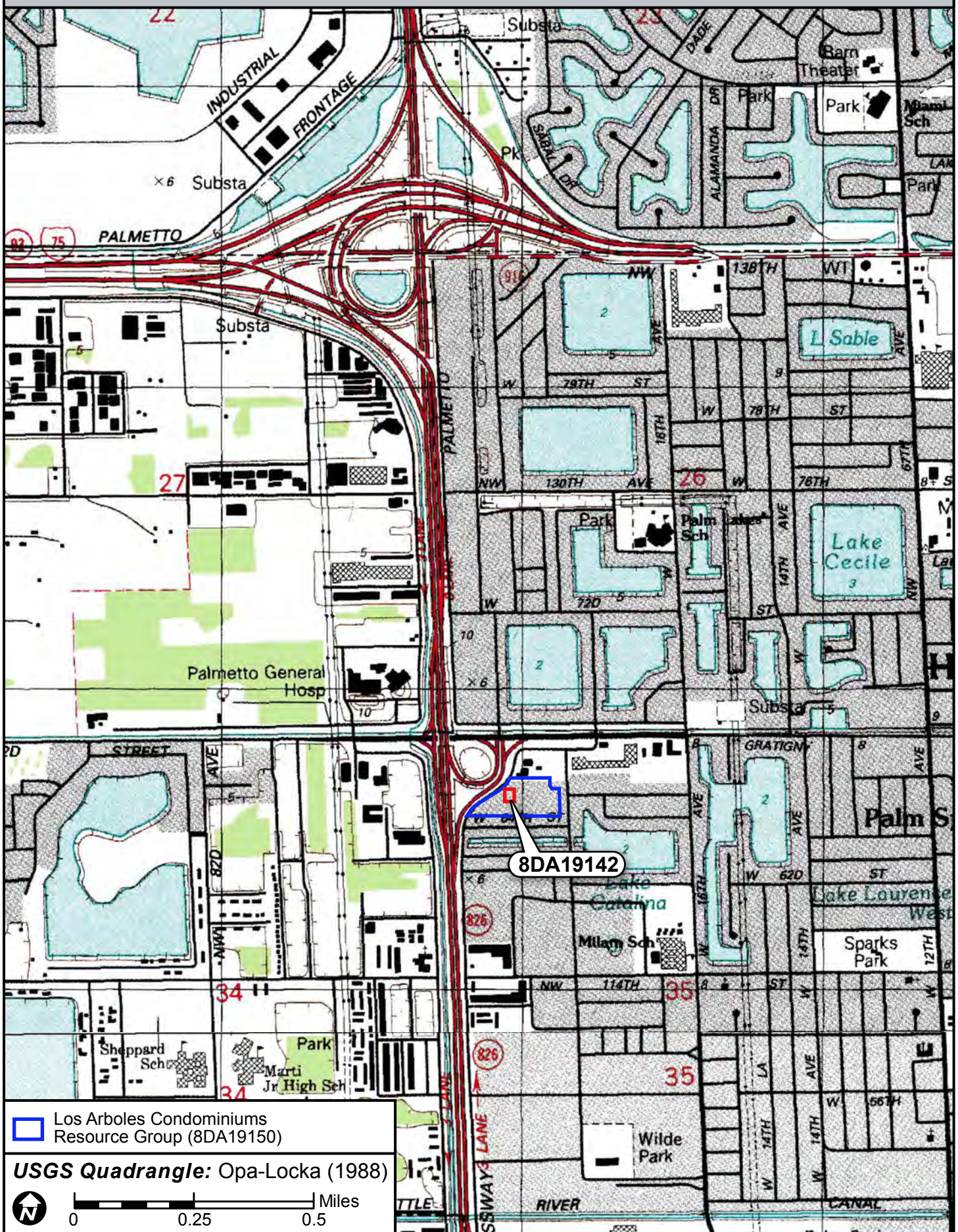
RECORDER INFORMATIONRecorder Name Janus ResearchAffiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com

(address / phone / fax / e-mail)

Required Attachments**① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).

Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.





☒ Original
☐ Update



HISTORICAL STRUCTURE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site#8 **DA19143**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder # 34

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) Los Arboles Condominiums Building 3 Multiple Listing (DHR only) _____
 Survey Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: Street Number 1990 Direction W Street Name 68th Street Type Street Suffix Direction _____
 Cross Streets (nearest / between) E Side NW 20th Avenue S of W 67th Place
 USGS 7.5 Map Name OPA-LOCKA USGS Date 1988 Plat or Other Map _____
 City / Town (within 3 miles) Hialeah In City Limits? ☒ yes ☐ no ☐ unknown County _____
 Township 52S Range 40E Section 35 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Tax Parcel # 04-2035-113-0001 Landgrant _____
 Subdivision Name _____ Block _____ Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567992 Northing 2862877
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1973 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Original Use Apartment From (year): 1973 To (year): _____
 Current Use Apartment From (year): _____ To (year): 2020
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☒ yes ☐ no ☐ unknown Date: 1-1-1985 Nature c80s/90s rplcd windows; enclosed porches
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Unknown Builder (last name first): Unknown
 Ownership History (especially original owner, dates, profession, etc.) _____

Is the Resource Affected by a Local Preservation Ordinance? ☐ yes ☒ no ☐ unknown Describe _____

DESCRIPTION

Style Masonry Vernacular Exterior Plan Rectangular Number of Stories 4
 Exterior Fabric(s) 1. Stucco 2. _____ 3. _____
 Roof Type(s) 1. Flat 2. _____ 3. _____
 Roof Material(s) 1. Built-up 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. _____ 2. _____

Windows (types, materials, etc.)

Metal single-hung-sash one-over-one, two-over-two, some paired; metal awning five-light

Distinguishing Architectural Features (exterior or interior ornaments)

Stucco projection from main block encloses balconies on north/south facades; open on ground floor w/ parking below 3 floors of units

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.)

Parking lot on N side of structure; bldg comprised of 2 identical blocks connected via exterior staircases/breezeways under shared roof

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Date _____ Init. _____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin</i> 15, p. 2)

DESCRIPTION (continued)Chimney: No. 0 Chimney Material(s): 1. _____ 2. _____Structural System(s): 1. Concrete block 2. Metal skeleton 3. _____Foundation Type(s): 1. Piers 2. _____Foundation Material(s): 1. Poured Concrete Footing 2. _____**Main Entrance (stylistic details)**

Main entrance obscured, ext staircases w/ stucco walls & metal railings & elevator banks provide access from parking area

Porch Descriptions (types, locations, roof types, etc.)

Each condo unit has balcony framed by projecting stucco walls with metal railings, some have since been enclosed and turned into living space w/ fixed windows or stucco walls

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous**Narrative Description of Resource**

This Masonry Vernacular condominium bldg is comprised of 2 identical blocks, both of which are oriented N-S; connected via breezeways/staircases under shared roof; no additions but several replaced windows and enclosed porches c1980s/1990s.

Archaeological Remains _____ ☐ Check if Archaeological Form Completed**RESEARCH METHODS (select all that apply)**

- | | | | |
|--|---|---|--|
| <input type="checkbox"/> FMSF record search (sites/surveys) | <input type="checkbox"/> library research | <input type="checkbox"/> building permits | <input type="checkbox"/> Sanborn maps |
| <input type="checkbox"/> FL State Archives/photo collection | <input type="checkbox"/> city directory | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps |
| <input checked="" type="checkbox"/> property appraiser / tax records | <input checked="" type="checkbox"/> newspaper files | <input type="checkbox"/> neighbor interview | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input checked="" type="checkbox"/> cultural resource survey (CRAS) | <input type="checkbox"/> historic photos | <input type="checkbox"/> interior inspection | <input type="checkbox"/> HABS/HAER record search |
| <input checked="" type="checkbox"/> other methods (describe) <u>Aerial photography</u> | | | |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed)

OPINION OF RESOURCE SIGNIFICANCEAppears to meet the criteria for National Register listing individually? ☐ yes ☒ no ☐ insufficient informationAppears to meet the criteria for National Register listing as part of a district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed)

This Masonry Vernacular condominium bldg exhibits a common style found in South Florida, features alts including replaced windows and material, and lacks historical associations. Therefore, it is considered ineligible for listing in the National Register

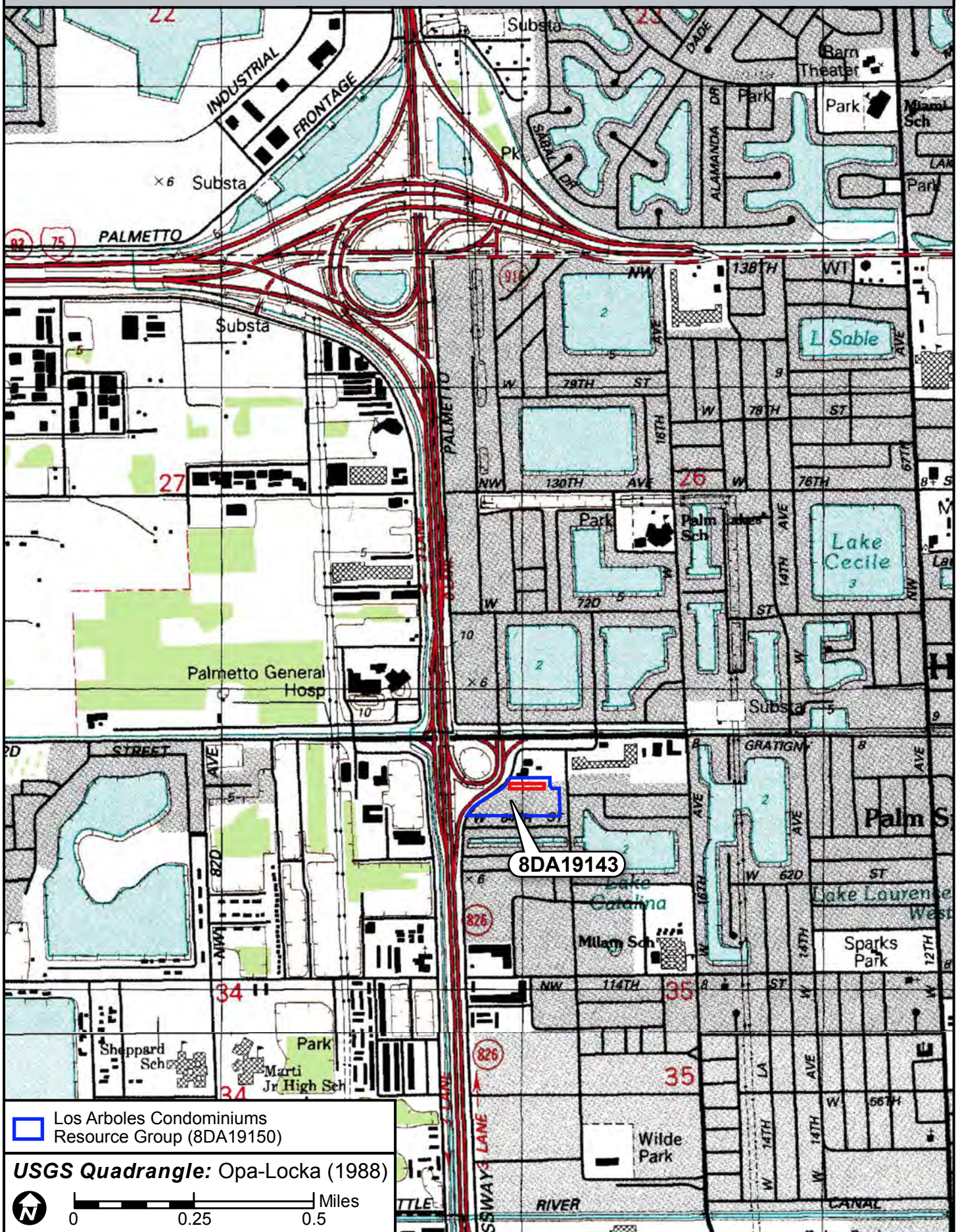
Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____
DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- | | |
|----------------------------------|--|
| Document type <u>Field notes</u> | Maintaining organization <u>Janus Research</u> |
| 1) Document description _____ | File or accession #'s _____ |
| Document type <u>Field maps</u> | Maintaining organization <u>Janus Research</u> |
| 2) Document description _____ | File or accession #'s _____ |

RECORDER INFORMATIONRecorder Name Janus Research Affiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com
(address / phone / fax / e-mail)**Required Attachments****① USGS 7.5' MAP WITH STRUCTURE LOCATION CLEARLY INDICATED****② LARGE SCALE STREET, PLAT OR PARCEL MAP** (available from most property appraiser web sites)**③ PHOTO OF MAIN FACADE, DIGITAL IMAGE FILE**When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.







RESOURCE GROUP FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site #8 **DA19147**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder# 28

☒ Original
☐ Update

Consult the *Guide to the Resource Group Form* for additional instructions

NOTE: Use this form to document districts, landscapes, building complexes and linear resources as described in the box below. Cultural resources contributing to the Resource Group should also be documented individually at the Site File. **Do not use this form for National Register multiple property submissions (MPSs).** National Register MPSs are treated as Site File manuscripts and are associated with the individual resources included under the MPS cover using the Site File manuscript number.

Check ONE box that best describes the Resource Group:

- ☐ **Historic district** (NR category "district"): buildings and NR structures only: NO archaeological sites
- ☐ **Archaeological district** (NR category "district"): archaeological sites only: NO buildings or NR structures
- ☐ **Mixed district** (NR category "district"): includes more than one type of cultural resource (example: archaeological sites and buildings)
- ☒ **Building complex** (NR category usually "building(s)"): multiple buildings in close spatial and functional association
- ☐ **Designed historic landscape** (NR category usually "district" or "site"): can include multiple resources (see *National Register Bulletin #18*, page 2 for more detailed definition and examples: e.g. parks, golf courses, campuses, resorts, etc.)
- ☐ **Rural historic landscape** (NR category usually "district" or "site"): can include multiple resources and resources not formally designed (see *National Register Bulletin #30, Guidelines for Evaluating and Documenting Rural Historic Landscapes* for more detailed definition and examples: e.g. farmsteads, fish camps, lumber camps, traditional ceremonial sites, etc.)
- ☐ **Linear resource** (NR category usually "structure"): Linear resources are a special type of structure or historic landscape and can include canals, railways, roads, etc.

Resource Group Name Medley Industrial Commerce Center Multiple Listing [DHR only] _____
 Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St FMSF Survey # _____
 National Register Category (please check one): ☒ building(s) ☐ structure ☐ district ☐ site ☐ object
 Linear Resource Type (if applicable): ☐ canal ☐ railway ☐ road ☐ other (describe): _____
 Ownership: ☒ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: 7750 NW 75th Avenue
 City/Town (within 3 miles) Medley In Current City Limits? ☒ yes ☐ no ☐ unknown
 County or Counties (do not abbreviate) Dade
 Name of Public Tract (e.g., park) _____
 1) Township 53S Range 40E Section 11 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 2) Township _____ Range _____ Section _____ ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE
 3) Township _____ Range _____ Section _____ ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE
 4) Township _____ Range _____ Section _____ ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE
 USGS 7.5' Map(s) 1) Name HIALEAH USGS Date 1988
 2) Name _____ USGS Date _____
 Plat, Aerial, or Other Map (map's name, originating office with location) _____
 Landgrant _____
 Verbal Description of Boundaries (description does not replace required map)

The boundary of this resource group consists of the parcel boundary, which travels west from NW 74th Ave along NW 78th Street, before encompassing all 3 historic structures and the parking lot located in the center of the group.

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date		Init.	
	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date			
<input type="checkbox"/> Owner Objection	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

HISTORY & DESCRIPTIONConstruction Year: 1969 ☒approximately ☐year listed or earlier ☐year listed or laterArchitect/Designer: Unknown Builder: UnknownTotal number of individual resources included in this Resource Group: # of contributing _____ # of non-contributing 3

Time period(s) of significance (choose a period from the list or type in date range(s), e.g. 1895-1925)

1. Twentieth C American

3. _____

2. _____ 4. _____

Narrative Description (*National Register Bulletin 16A* pp. 33-34; attach supplementary sheets if needed)

Consists of 3 industrial buildings built 1969-1971 (8DA19118 & 8DA19119 in APE). All 3 buildings are Industrial Vernacular, CB structures with flat roofs and multiple commercial bays/storefronts featuring garage doors and an entry door to small office.

RESEARCH METHODS (check all that apply)☐FMSF record search (sites/surveys)☐library research☐building permits☐Sanborn maps☐FL State Archives/photo collection☐city directory☐occupant/owner interview☐plat maps☒property appraiser / tax records☐newspaper files☐neighbor interview☐Public Lands Survey (DEP)☒cultural resource survey☐historic photos☐interior inspection☐HABS/HAER record search☒other methods (specify) Aerial photography

Bibliographic References (give FMSF Manuscript # if relevant)

OPINION OF RESOURCE SIGNIFICANCEPotentially eligible individually for National Register of Historic Places? ☐yes ☒no ☐insufficient informationPotentially eligible as contributor to a National Register district? ☐yes ☒no ☐insufficient informationExplanation of Evaluation (required, see *National Register Bulletin 16A* p. 48-49. Attach longer statement, if needed, on separate sheet.)

This resource group includes 3 industrial buildings constructed b/w 1969 and 1971. The structures exhibit a common style found in South Florida and lack historical associations, therefore the resource group is considered National Register-ineligible.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notesMaintaining organization Janus Research

Document description _____

File or accession #'s _____

2) Document type Field mapsMaintaining organization Janus Research

Document description _____

File or accession #'s _____

RECORDER INFORMATIONRecorder Name Janus ResearchAffiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com

(address / phone / fax / e-mail)

Required Attachments**① PHOTOCOPY OF USGS 7.5' MAP WITH DISTRICT BOUNDARY CLEARLY MARKED****② LARGE SCALE STREET, PLAT OR PARCEL MAP WITH RESOURCES MAPPED & LABELED****③ TABULATION OF ALL INCLUDED RESOURCES** - Include name, FMSF #, contributing? Y/N, resource category, street address or other location information if no address.**④ PHOTOS OF GENERAL STREETSCAPE OR VIEWS** (Optional: aerial photos, views of typical resources)

When submitting images, they must be included in digital AND hard copy format (plain paper grayscale acceptable).

Digital images must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



PHOTOGRAPH

8DA19147



PHOTOGRAPH

8DA19147



PHOTOGRAPH

8DA19147

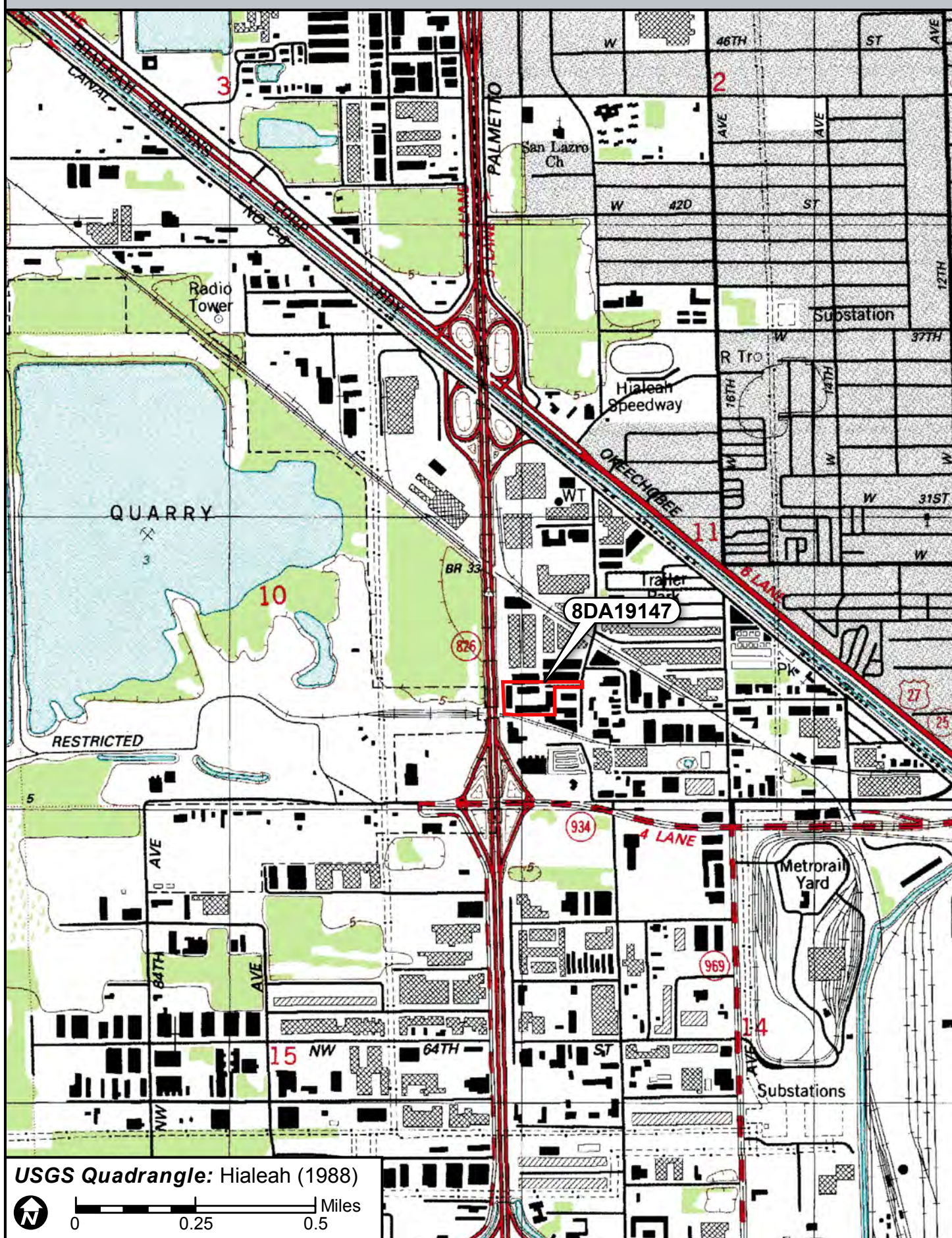


PHOTOGRAPH

8DA19147









RESOURCE GROUP FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site #8 **DA19148**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder# 29

☒ Original
☐ Update

Consult the *Guide to the Resource Group Form* for additional instructions

NOTE: Use this form to document districts, landscapes, building complexes and linear resources as described in the box below. Cultural resources contributing to the Resource Group should also be documented individually at the Site File. **Do not use this form for National Register multiple property submissions (MPSS).** National Register MPSS are treated as Site File manuscripts and are associated with the individual resources included under the MPS cover using the Site File manuscript number.

Check ONE box that best describes the Resource Group:

- ☐ **Historic district** (NR category "district"): buildings and NR structures only: NO archaeological sites
- ☐ **Archaeological district** (NR category "district"): archaeological sites only: NO buildings or NR structures
- ☐ **Mixed district** (NR category "district"): includes more than one type of cultural resource (example: archaeological sites and buildings)
- ☒ **Building complex** (NR category usually "building(s)"): multiple buildings in close spatial and functional association
- ☐ **Designed historic landscape** (NR category usually "district" or "site"): can include multiple resources (see *National Register Bulletin #18*, page 2 for more detailed definition and examples: e.g. parks, golf courses, campuses, resorts, etc.)
- ☐ **Rural historic landscape** (NR category usually "district" or "site"): can include multiple resources and resources not formally designed (see *National Register Bulletin #30, Guidelines for Evaluating and Documenting Rural Historic Landscapes* for more detailed definition and examples: e.g. farmsteads, fish camps, lumber camps, traditional ceremonial sites, etc.)
- ☐ **Linear resource** (NR category usually "structure"): Linear resources are a special type of structure or historic landscape and can include canals, railways, roads, etc.

Resource Group Name Palm-West Gardens Condominiums Multiple Listing [DHR only] _____
 Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St FMSF Survey # _____
 National Register Category (please check one): ☒ building(s) ☐ structure ☐ district ☐ site ☐ object
 Linear Resource Type (if applicable): ☐ canal ☐ railway ☐ road ☐ other (describe): _____
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: 1910-1990 W 56th Street _____
 City/Town (within 3 miles) Hialeah In Current City Limits? ☒ yes ☐ no ☐ unknown
 County or Counties (do not abbreviate) Dade
 Name of Public Tract (e.g., park) _____
 1) Township 52S Range 40E Section 35 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 2) Township _____ Range _____ Section _____ ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE
 3) Township _____ Range _____ Section _____ ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE
 4) Township _____ Range _____ Section _____ ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE
 USGS 7.5' Map(s) 1) Name HIALEAH USGS Date 1988
 2) Name _____ USGS Date _____
 Plat, Aerial, or Other Map (map's name, originating office with location) _____
 Landgrant _____
 Verbal Description of Boundaries (description does not replace required map)

The resource group boundary consists of the parcel boundary, beginning in SE corner of W 20th Ave at W 56th St: E ~580 ft, S ~475ft, W ~580ft, N ~475ft. The parcel boundary encloses 3 condominium buildings and is marked by a metal property fence.

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date _____	Init. _____		
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date _____			
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

HISTORY & DESCRIPTIONConstruction Year: 1973 ☒approximately ☐year listed or earlier ☐year listed or laterArchitect/Designer: Unknown Builder: UnknownTotal number of individual resources included in this Resource Group: # of contributing _____ # of non-contributing 3

Time period(s) of significance (choose a period from the list or type in date range(s), e.g. 1895-1925)

1. Twentieth C American

3. _____

2. _____ 4. _____

Narrative Description (*National Register Bulletin 16A* pp. 33-34; attach supplementary sheets if needed)

Consists of 3 c1973 condo bldgs (8DA19130 in APE). All 3 bldgs are Masonry Vernacular, CB/metal skeleton structures with flat roofs, irregular plans, and multiple condo units. All bldgs are 5 stories w/parking, elevator on ground floor b/w piers.

RESEARCH METHODS (check all that apply)☐FMSF record search (sites/surveys)☐library research☐building permits☐Sanborn maps☐FL State Archives/photo collection☐city directory☐occupant/owner interview☐plat maps☒property appraiser / tax records☐newspaper files☐neighbor interview☐Public Lands Survey (DEP)☒cultural resource survey☐historic photos☐interior inspection☐HABS/HAER record search☒other methods (specify) Aerial photography

Bibliographic References (give FMSF Manuscript # if relevant)

OPINION OF RESOURCE SIGNIFICANCEPotentially eligible individually for National Register of Historic Places? ☐yes ☒no ☐insufficient informationPotentially eligible as contributor to a National Register district? ☐yes ☒no ☐insufficient informationExplanation of Evaluation (required, see *National Register Bulletin 16A* p. 48-49. Attach longer statement, if needed, on separate sheet.)

This resource group includes 3 c1973 condo bldgs. The structures exhibit a common style found in South Florida, replaced windows/alterd material and lack historical associations, therefore the resource group is considered National Register-ineligible.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notesMaintaining organization Janus Research

Document description _____

File or accession #'s _____

2) Document type Field mapsMaintaining organization Janus Research

Document description _____

File or accession #'s _____

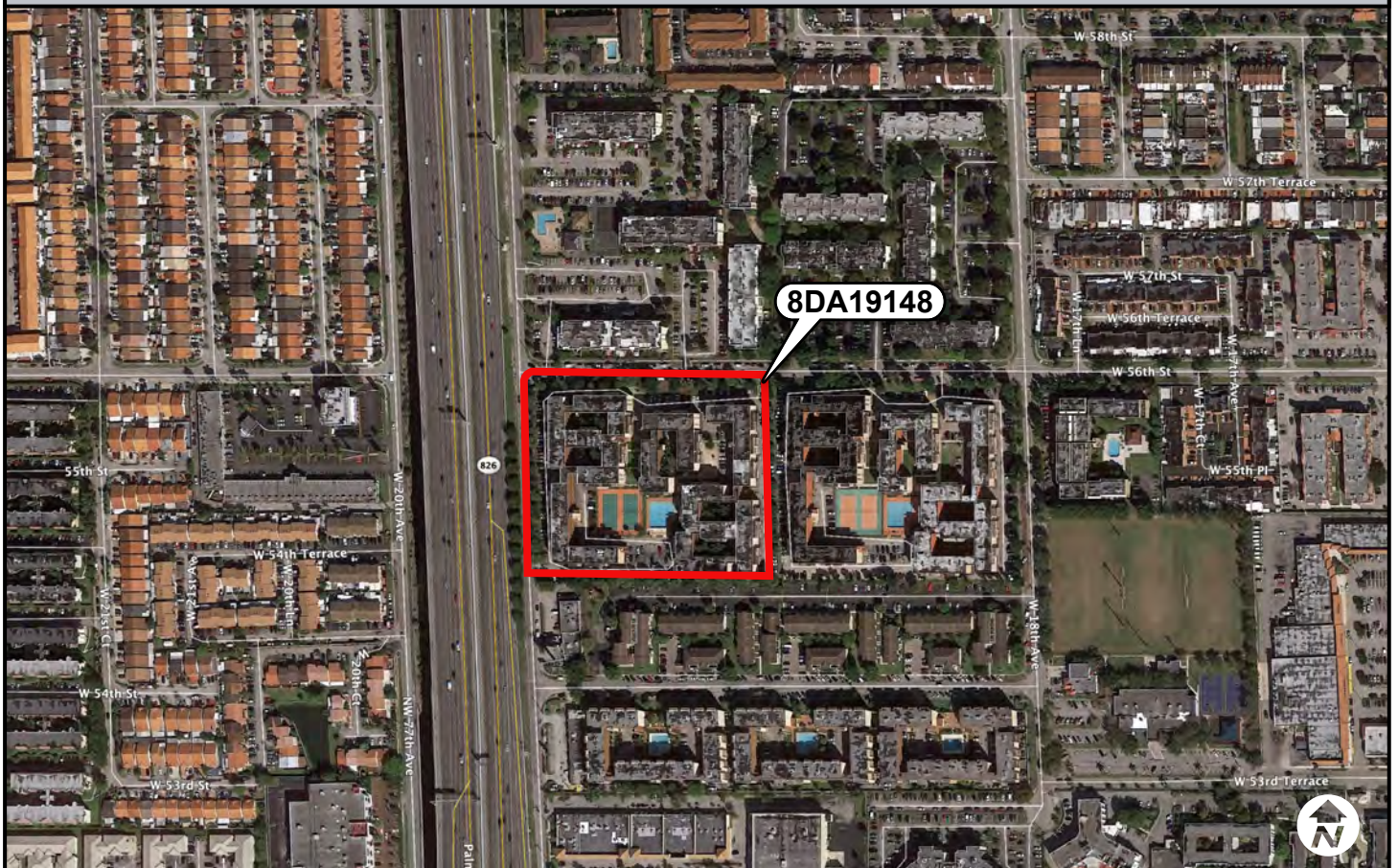
RECORDER INFORMATIONRecorder Name Janus ResearchAffiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com

(address / phone / fax / e-mail)

Required Attachments**① PHOTOCOPY OF USGS 7.5' MAP WITH DISTRICT BOUNDARY CLEARLY MARKED****② LARGE SCALE STREET, PLAT OR PARCEL MAP WITH RESOURCES MAPPED & LABELED****③ TABULATION OF ALL INCLUDED RESOURCES** - Include name, FMSF #, contributing? Y/N, resource category, street address or other location information if no address.**④ PHOTOS OF GENERAL STREETSCAPE OR VIEWS** (Optional: aerial photos, views of typical resources)

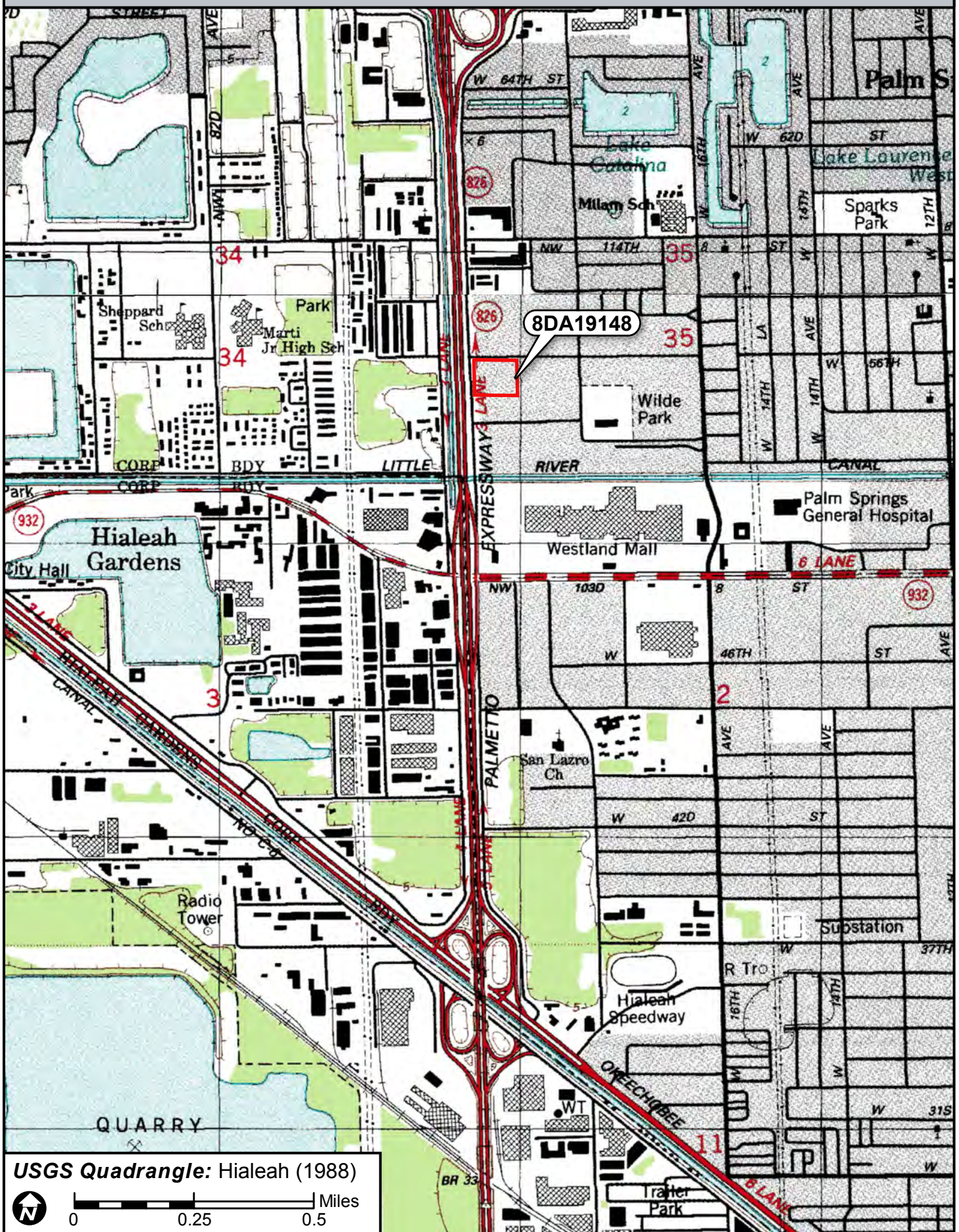
When submitting images, they must be included in digital AND hard copy format (plain paper grayscale acceptable).

Digital images must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.











RESOURCE GROUP FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site #8 **DA19149**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder# 33

☒ Original
☐ Update

Consult the *Guide to the Resource Group Form* for additional instructions

NOTE: Use this form to document districts, landscapes, building complexes and linear resources as described in the box below. Cultural resources contributing to the Resource Group should also be documented individually at the Site File. **Do not use this form for National Register multiple property submissions (MPSs).** National Register MPSs are treated as Site File manuscripts and are associated with the individual resources included under the MPS cover using the Site File manuscript number.

Check ONE box that best describes the Resource Group:

- ☐ **Historic district** (NR category "district"): buildings and NR structures only: NO archaeological sites
- ☐ **Archaeological district** (NR category "district"): archaeological sites only: NO buildings or NR structures
- ☐ **Mixed district** (NR category "district"): includes more than one type of cultural resource (example: archaeological sites and buildings)
- ☒ **Building complex** (NR category usually "building(s)"): multiple buildings in close spatial and functional association
- ☐ **Designed historic landscape** (NR category usually "district" or "site"): can include multiple resources (see *National Register Bulletin #18*, page 2 for more detailed definition and examples: e.g. parks, golf courses, campuses, resorts, etc.)
- ☐ **Rural historic landscape** (NR category usually "district" or "site"): can include multiple resources and resources not formally designed (see *National Register Bulletin #30, Guidelines for Evaluating and Documenting Rural Historic Landscapes* for more detailed definition and examples: e.g. farmsteads, fish camps, lumber camps, traditional ceremonial sites, etc.)
- ☐ **Linear resource** (NR category usually "structure"): Linear resources are a special type of structure or historic landscape and can include canals, railways, roads, etc.

Resource Group Name Westland Gardens Condominiums Multiple Listing [DHR only] _____
 Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St FMSF Survey # _____
 National Register Category (please check one): ☒ building(s) ☐ structure ☐ district ☐ site ☐ object
 Linear Resource Type (if applicable): ☐ canal ☐ railway ☐ road ☐ other (describe): _____
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: 5625-5775 W 20th Avenue
 City/Town (within 3 miles) Hialeah In Current City Limits? ☒ yes ☐ no ☐ unknown
 County or Counties (do not abbreviate) Dade
 Name of Public Tract (e.g., park) _____
 1) Township 52S Range 40E Section 35 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 2) Township _____ Range _____ Section _____ ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE
 3) Township _____ Range _____ Section _____ ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE
 4) Township _____ Range _____ Section _____ ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE
 USGS 7.5' Map(s) 1) Name HIALEAH USGS Date 1988
 2) Name _____ USGS Date _____
 Plat, Aerial, or Other Map (map's name, originating office with location) _____
 Landgrant _____
 Verbal Description of Boundaries (description does not replace required map)

The resource group boundary consists of the parcel boundary, begins in NE corner of W 20th Ave&W 56th St: travels E ~600ft, N ~640ft, W ~600ft, S ~640 ft. RG includes 5 condo bldgs, a clubhouse/office bldg, & pool/tennis courts & enclosed in metal fence.

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date _____	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date _____	Init. _____
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date _____	
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)		

HISTORY & DESCRIPTIONConstruction Year: 1972 ☒approximately ☐year listed or earlier ☐year listed or laterArchitect/Designer: Unknown Builder: UnknownTotal number of individual resources included in this Resource Group: # of contributing _____ # of non-contributing 6

Time period(s) of significance (choose a period from the list or type in date range(s), e.g. 1895-1925)

1. Twentieth C American

3. _____

2. _____ 4. _____

Narrative Description (*National Register Bulletin 16A* pp. 33-34; attach supplementary sheets if needed)

Consists of 5 c1972 condo bldgs (8DA19131-8DA19133 in APE). All 3 bldgs are Masonry Vernacular, CB structures w/ flat roofs, rectangular plans, and multiple condo units. All condo bldgs are 4 stories w/ 2 story clubhouse/office in center.

RESEARCH METHODS (check all that apply)☐FMSF record search (sites/surveys)☐library research☐building permits☐Sanborn maps☐FL State Archives/photo collection☐city directory☐occupant/owner interview☐plat maps☒property appraiser / tax records☐newspaper files☐neighbor interview☐Public Lands Survey (DEP)☒cultural resource survey☐historic photos☐interior inspection☐HABS/HAER record search☒other methods (specify) Aerial photography

Bibliographic References (give FMSF Manuscript # if relevant)

OPINION OF RESOURCE SIGNIFICANCEPotentially eligible individually for National Register of Historic Places? ☐yes ☒no ☐insufficient informationPotentially eligible as contributor to a National Register district? ☐yes ☒no ☐insufficient informationExplanation of Evaluation (required, see *National Register Bulletin 16A* p. 48-49. Attach longer statement, if needed, on separate sheet.)

This resource group includes 6 c1972 condo bldgs. The structures exhibit a common style found in South Florida, replaced windows/alterd material and lack historical associations, therefore the resource group is considered National Register-ineligible.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notesMaintaining organization Janus Research

Document description _____

File or accession #'s _____

2) Document type Field mapsMaintaining organization Janus Research

Document description _____

File or accession #'s _____

RECORDER INFORMATIONRecorder Name Janus ResearchAffiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com

(address / phone / fax / e-mail)

Required Attachments**① PHOTOCOPY OF USGS 7.5' MAP WITH DISTRICT BOUNDARY CLEARLY MARKED****② LARGE SCALE STREET, PLAT OR PARCEL MAP WITH RESOURCES MAPPED & LABELED****③ TABULATION OF ALL INCLUDED RESOURCES** - Include name, FMSF #, contributing? Y/N, resource category, street address or other location information if no address.**④ PHOTOS OF GENERAL STREETSCAPE OR VIEWS** (Optional: aerial photos, views of typical resources)

When submitting images, they must be included in digital AND hard copy format (plain paper grayscale acceptable).

Digital images must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



PHOTOGRAPH

8DA19149

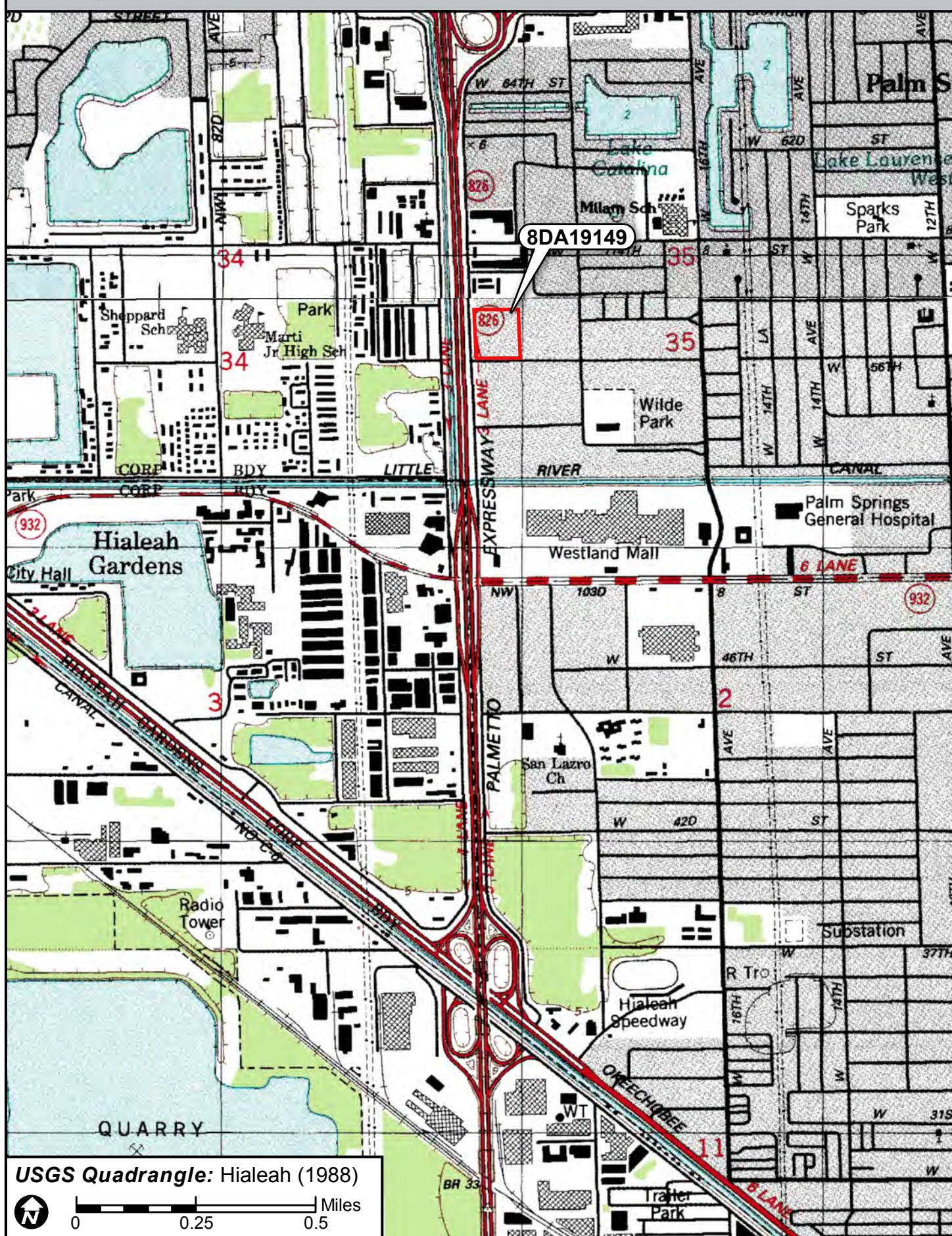


PHOTOGRAPH

8DA19149









RESOURCE GROUP FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Site #8 **DA19150**
 Field Date 9-30-2020
 Form Date 10-12-2020
 Recorder# 36

☒ Original
☐ Update

Consult the *Guide to the Resource Group Form* for additional instructions

NOTE: Use this form to document districts, landscapes, building complexes and linear resources as described in the box below. Cultural resources contributing to the Resource Group should also be documented individually at the Site File. **Do not use this form for National Register multiple property submissions (MPSs).** National Register MPSs are treated as Site File manuscripts and are associated with the individual resources included under the MPS cover using the Site File manuscript number.

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- ☐ **Archaeological district** (NR category "district"): archaeological sites only: NO buildings or NR structures
- ☐ **Mixed district** (NR category "district"): includes more than one type of cultural resource (example: archaeological sites and buildings)
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- ☐ **Rural historic landscape** (NR category usually "district" or "site"): can include multiple resources and resources not formally designed (see *National Register Bulletin #30, Guidelines for Evaluating and Documenting Rural Historic Landscapes* for more detailed definition and examples: e.g. farmsteads, fish camps, lumber camps, traditional ceremonial sites, etc.)
- ☐ **Linear resource** (NR category usually "structure"): Linear resources are a special type of structure or historic landscape and can include canals, railways, roads, etc.

Resource Group Name Los Arboles Condominiums Multiple Listing [DHR only] _____
 Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St FMSF Survey # _____
 National Register Category (please check one): ☒ building(s) ☐ structure ☐ district ☐ site ☐ object
 Linear Resource Type (if applicable): ☐ canal ☐ railway ☐ road ☐ other (describe): _____
 Ownership: ☐ private-profit ☐ private-nonprofit ☒ private-individual ☐ private-nonspecific ☐ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Address: 1900 W 68th Street
 City/Town (within 3 miles) Hialeah In Current City Limits? ☒ yes ☐ no ☐ unknown
 County or Counties (do not abbreviate) Dade
 Name of Public Tract (e.g., park) _____
 1) Township 52S Range 40E Section 35 ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 2) Township _____ Range _____ Section _____ ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE
 3) Township _____ Range _____ Section _____ ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE
 4) Township _____ Range _____ Section _____ ¼ section: ☐ NW ☐ SW ☐ SE ☐ NE
 USGS 7.5' Map(s) 1) Name OPA-LOCKA USGS Date 1988
 2) Name _____ USGS Date _____
 Plat, Aerial, or Other Map (map's name, originating office with location) _____
 Landgrant _____
 Verbal Description of Boundaries (description does not replace required map)

The resource group boundary follows the parcel boundary, beginning ~200 ft north of W 64th Street, then E along S of parking lot ~950ft, N ~275ft, W ~400ft, and S ~550ft; encloses 5 c1973 condo bldgs, guard house, parking areas, tennis courts and pool.

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	Init. _____		
<input type="checkbox"/> Owner Objection	KEEPER – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____		
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

HISTORY & DESCRIPTIONConstruction Year: 1973 ☒approximately ☐year listed or earlier ☐year listed or laterArchitect/Designer: Unknown Builder: UnknownTotal number of individual resources included in this Resource Group: # of contributing _____ # of non-contributing 6

Time period(s) of significance (choose a period from the list or type in date range(s), e.g. 1895-1925)

1. Twentieth C American

3. _____

2. _____ 4. _____

Narrative Description (*National Register Bulletin 16A* pp. 33-34; attach supplementary sheets if needed)

Consists of 6 c1973 bldgs (8DA19141-8DA19143 in APE). All bldgs are Masonry Vernacular, CB structures w/ flat roofs, rectangular plans, and multiple condo units. 8DA19141&43 are comprised of multiple blocks connected w/ ext breezeways under shared roof.

RESEARCH METHODS (check all that apply)☐FMSF record search (sites/surveys)☐library research☐building permits☐Sanborn maps☐FL State Archives/photo collection☐city directory☐occupant/owner interview☐plat maps☒property appraiser / tax records☐newspaper files☐neighbor interview☐Public Lands Survey (DEP)☒cultural resource survey☐historic photos☐interior inspection☐HABS/HAER record search☒other methods (specify) Aerial photography

Bibliographic References (give FMSF Manuscript # if relevant)

OPINION OF RESOURCE SIGNIFICANCEPotentially eligible individually for National Register of Historic Places? ☐yes ☒no ☐insufficient informationPotentially eligible as contributor to a National Register district? ☐yes ☒no ☐insufficient informationExplanation of Evaluation (required, see *National Register Bulletin 16A* p. 48-49. Attach longer statement, if needed, on separate sheet.)

This resource group includes 6 c1973 condo bldgs. The structures exhibit a common style found in South Florida, replaced windows/alterd material and lack historical associations, therefore the resource group is considered National Register-ineligible.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____
2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type Field notesMaintaining organization Janus Research

Document description _____

File or accession #'s _____

2) Document type Field mapsMaintaining organization Janus Research

Document description _____

File or accession #'s _____

RECORDER INFORMATIONRecorder Name Janus ResearchAffiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com

(address / phone / fax / e-mail)

Required Attachments**① PHOTOCOPY OF USGS 7.5' MAP WITH DISTRICT BOUNDARY CLEARLY MARKED****② LARGE SCALE STREET, PLAT OR PARCEL MAP WITH RESOURCES MAPPED & LABELED****③ TABULATION OF ALL INCLUDED RESOURCES** - Include name, FMSF #, contributing? Y/N, resource category, street address or other location information if no address.**④ PHOTOS OF GENERAL STREETSCAPE OR VIEWS** (Optional: aerial photos, views of typical resources)

When submitting images, they must be included in digital AND hard copy format (plain paper grayscale acceptable).

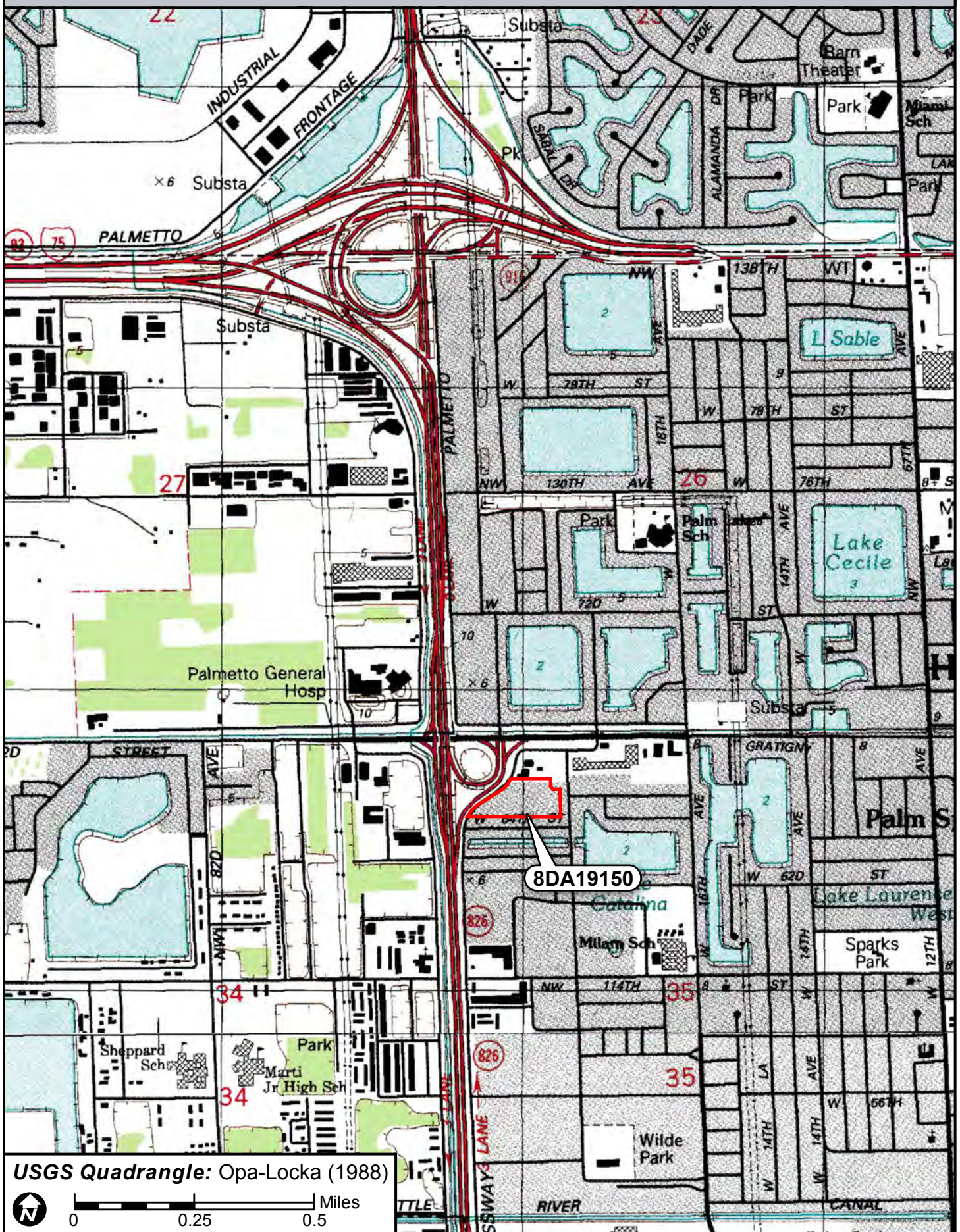
Digital images must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.











☒ Original
☐ Update



HISTORICAL BRIDGE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Consult Guide to the Historical Bridge Form for detailed instructions

Site #8 **DA19154**
 Field Date 9-30-2020
 Form Date 11-2-2020
 Recorder # 37
 FDOT Bridge # 870570

Bridge Name(s) FDOT Bridge No. 870570 Multiple Listing (DHR only) _____
 Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☒ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Route(s) Carried/Feature(s) Crossed W 20th Avenue over Little River Canal
 USGS 7.5 Map Name HIALEAH USGS Date 1988 Plat or Other Map _____
 City/Town (within 3 miles) Hialeah In City Limits? ☒ yes ☐ no ☐ unknown County Dade
 Township 53S Range 40E Section 2 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Township 52S Range 40E Section 35 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE
 Landgrant _____ Tax Parcel # _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567867 Northing 2861416
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Year Built 1968 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Still in use? ☒ yes ☐ no ☐ restricted use (describe) _____
 Prior Fords, Ferries, or Bridges at this Location
 Likely replaced an earlier bridge in this location since the Little River Canal (8DA6352) was constructed c.1954

Bridge Use: original and current with dates (standard descriptions: auto, railway, pedestrian, fishing pier, abandoned)
Auto and pedestrian bridge since construction

Ownership history

Designers/Engineers Unknown

Builders/Contractors Unknown

Text of Plaque or Inscription

None observed

Narrative History (How did bridge come to be built? How was it financed?, etc.)

DESCRIPTION

GENERAL

Overall Bridge Design 1. Slab 2. _____

Overall Condition ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Style and Decorative Details

2-lane bridge carries north&south auto traffic over Little River Canal (8DA6352) w/ pedestrian sidewalk on E side of roadway; low concrete walls frame bridge, deck is concrete precast panels; utilities carried on both exterior sides of bridge

Tender Station Description

Not applicable

Alterations: Dates and Descriptions

Roadway likely resurfaced/repainted since original construction date.

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Keeper – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)	Date _____ Init. _____ Date _____
--	--	--------------------------------------

DESCRIPTION (continued)

SUPERSTRUCTURE

Spans: Total Number 3 Total Length(ft) 90Main Spans: Number 3 Length(ft) 30 Width(ft) 36 Roadway width(ft) 33Main Span Design SlabMain Span Materials 1. Concrete 2. _____

Approach Spans: Number _____ Length(ft) _____ Width(ft) _____ Roadway width(ft) _____

Approach Span Design Not ApplicableApproach Span Materials 1. Not Applicable 2. _____Deck Materials 1. Pre-cast Concrete 2. _____

SUBSTRUCTURE

Abutment Materials 1. Stone 2. _____Abutment Description Grassy embankment with stone sloped walls on either side of canalPier Materials 1. Concrete 2. _____Pier Description 2 rows of bents supporting bridge

RESEARCH METHODS (check all that apply)

- | | | | |
|---|---|--|--|
| <input checked="" type="checkbox"/> FDOT database search | <input type="checkbox"/> Fla. Archives / photo collection | <input type="checkbox"/> newspaper files | <input type="checkbox"/> informal archaeological inspection |
| <input type="checkbox"/> HABS/HAER record search | <input type="checkbox"/> property appraiser / tax records | <input type="checkbox"/> city directory | <input type="checkbox"/> formal archaeological survey |
| <input checked="" type="checkbox"/> FMSF record search (sites/surveys) | <input type="checkbox"/> library research | <input type="checkbox"/> Public Lands Survey (DEP) | <input checked="" type="checkbox"/> cultural resource survey |
| <input checked="" type="checkbox"/> Other methods (specify) <u>Aerial photography</u> | | | |

Bibliographic References (give FMSF manuscript # if relevant, use separate sheet if needed)

ACHP, 2012, Program Comment: Streamlining Section 106 Review for Actions Affecting Post-1945 Concrete and Steel Bridges. Published in the Federal Register, Volume 77, Number 22 on November 16, 2012.

OPINION OF RESOURCE SIGNIFICANCE

Potentially eligible individually for National Register of Historic Places? ☐ yes ☒ no ☐ insufficient informationPotentially eligible as contributor to a National Register district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, use separate sheet if needed)

FDOT Bridge No. 870570 is a common style post-WWII bridge (reinforced concrete slab) exempted from Section 106 consideration by the 2012 ACHP Program Comment Streamlining Section 106 Review for Actions Affecting Post-1945 Concrete and Steel Bridges.

Area(s) of historical significance (See *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field & analysis notes, photos, plans, other important documents

1) Document type <u>Field maps</u>	Maintaining organization <u>Janus Research</u>
Document description _____	File or accession #'s _____
2) Document type <u>Field notes</u>	Maintaining organization <u>Janus Research</u>
Document description _____	File or accession #'s _____

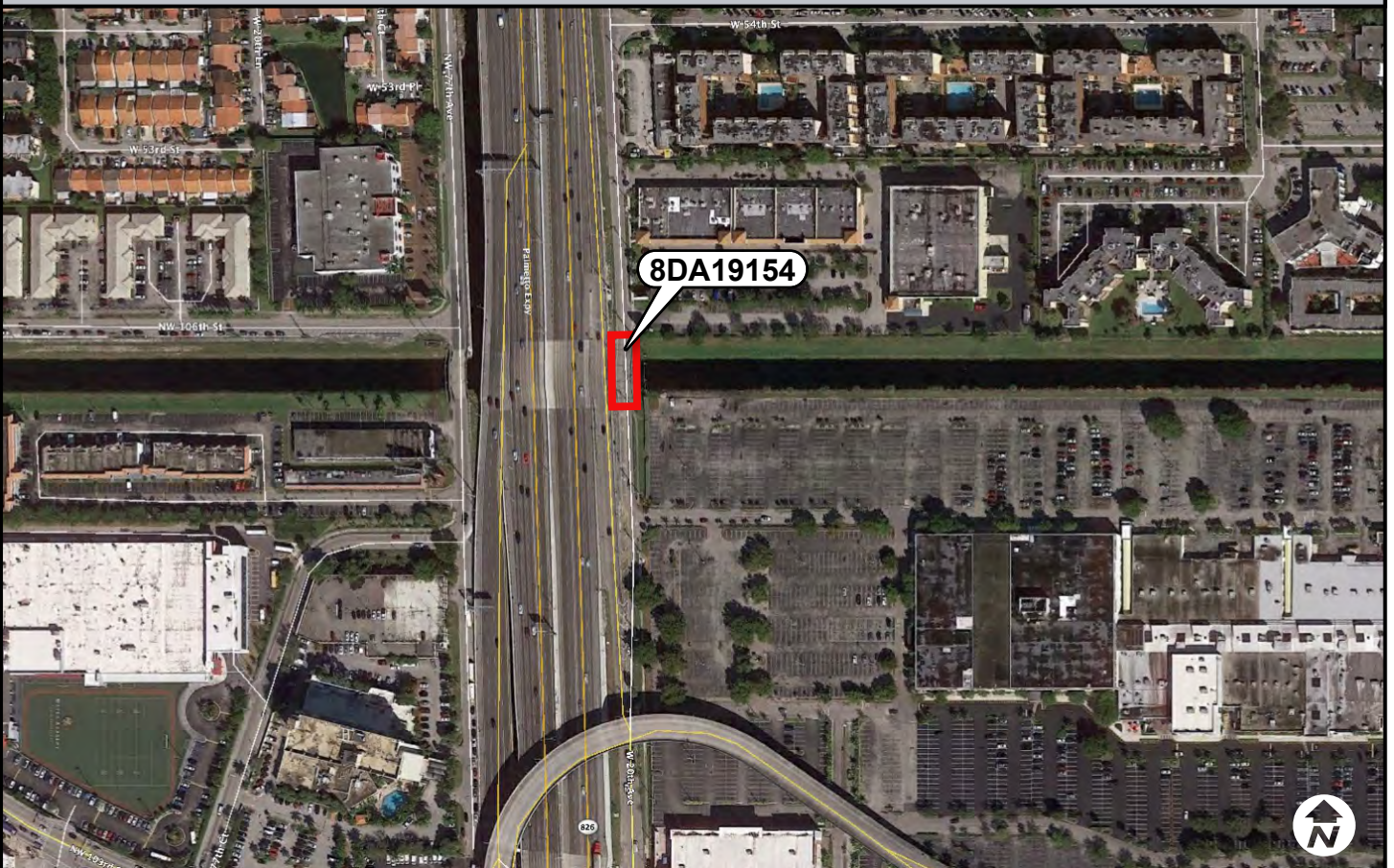
RECORDER INFORMATION

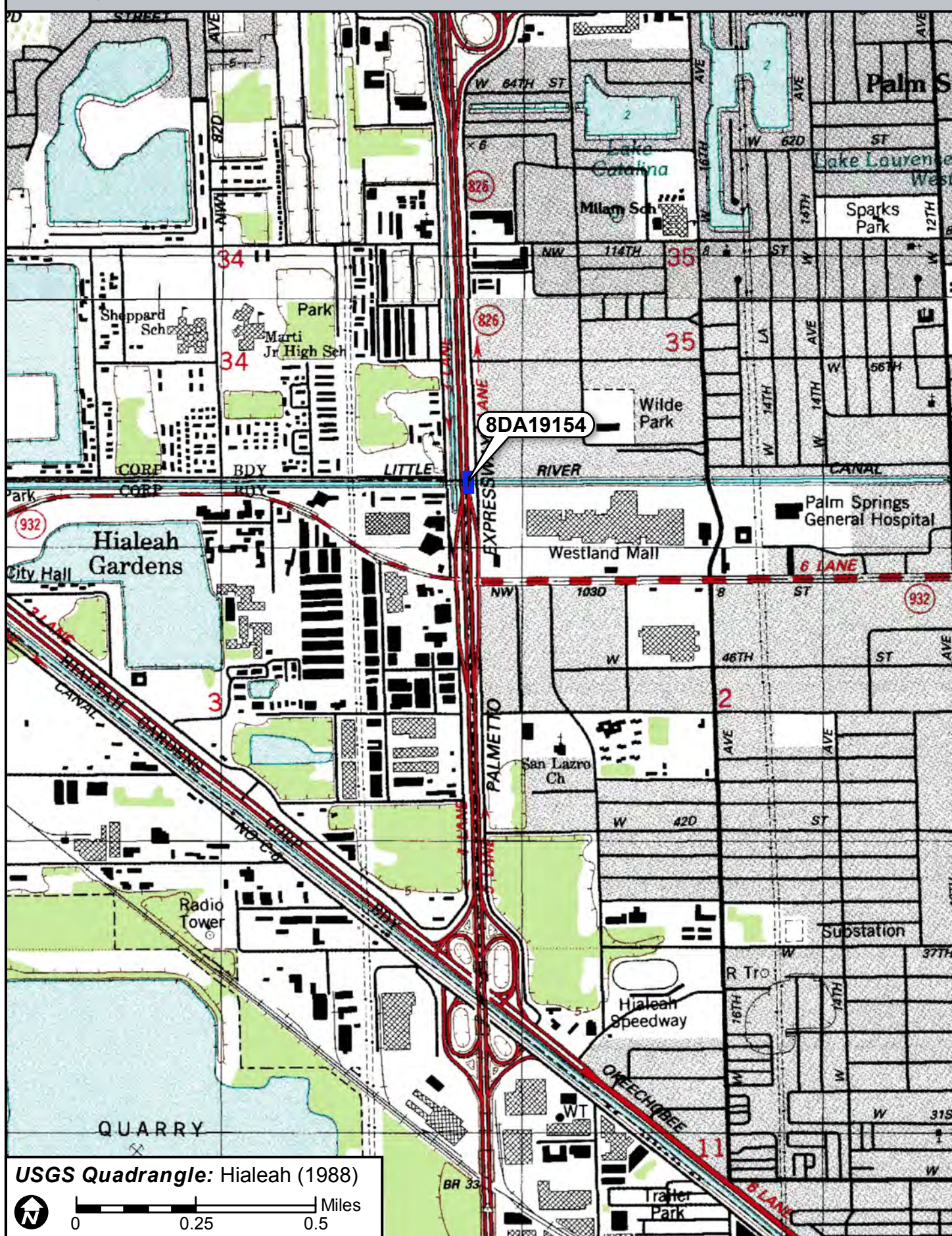
Recorder Name Janus ResearchAffiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com
(address / phone / fax / e-mail)

Required Attachments

- ❶ USGS 7.5' TOPO MAP WITH BRIDGE LOCATION CLEARLY MARKED
- ❷ PHOTO OF BRIDGE

When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.





☒ Original
☐ Update



HISTORICAL BRIDGE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Consult Guide to the Historical Bridge Form for detailed instructions

Site #8 **DA19155**
 Field Date 9-30-2020
 Form Date 11-2-2020
 Recorder # 38
 FDOT Bridge # 870580

Bridge Name(s) FDOT Bridge No. 870580 Multiple Listing (DHR only) _____
 Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☒ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Route(s) Carried/Feature(s) Crossed EB NW 122nd Street over SR 826 Canal
 USGS 7.5 Map Name OPA-LOCKA USGS Date 1988 Plat or Other Map _____
 City/Town (within 3 miles) Hialeah In City Limits? ☒ yes ☐ no ☐ unknown County Dade
 Township 52S Range 40E Section 34 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Township _____ Range _____ Section _____ 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE
 Landgrant _____ Tax Parcel # _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567633 Northing 2863011
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Year Built 1973 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Still in use? ☒ yes ☐ no ☐ restricted use (describe) _____
 Prior Fords, Ferries, or Bridges at this Location _____

Bridge Use: original and current with dates (standard descriptions: auto, railway, pedestrian, fishing pier, abandoned)
Auto bridge since construction

Ownership history

Designers/Engineers Unknown

Builders/Contractors Unknown

Text of Plaque or Inscription

None observed

Narrative History (How did bridge come to be built? How was it financed?, etc.)

DESCRIPTION

GENERAL

Overall Bridge Design 1. Slab 2. _____

Overall Condition ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Style and Decorative Details

4-lane bridge carries eastbound (EB) traffic on NW 122nd Street over the SR 826 Canal (8DA11681) west of SR 826/Palmetto Expressway; 3 travel lanes continue east after bridge while one turns south onto SR 826 on-ramp

Tender Station Description

Not applicable

Alterations: Dates and Descriptions

Roadway resurfaced/repainted since original construction date; travel lanes added since initial construction

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date <input type="checkbox"/> Owner Objection	SHPO – Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info Keeper – Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)	Date _____ Init. _____ Date _____
--	--	--------------------------------------

DESCRIPTION (continued)

SUPERSTRUCTURE

Spans: Total Number 1 Total Length(ft) 24Main Spans: Number 1 Length(ft) 24 Width(ft) 99 Roadway width(ft) 84Main Span Design SlabMain Span Materials 1. Concrete 2. _____

Approach Spans: Number _____ Length(ft) _____ Width(ft) _____ Roadway width(ft) _____

Approach Span Design Not ApplicableApproach Span Materials 1. Not Applicable 2. _____Deck Materials 1. Pre-cast Concrete 2. _____

SUBSTRUCTURE

Abutment Materials 1. Concrete 2. _____Abutment Description Concrete support walls framing SR 826 Canal as it passes beneath

Pier Materials 1. _____ 2. _____

Pier Description _____

RESEARCH METHODS (check all that apply)

- | | | | |
|---|---|--|--|
| <input checked="" type="checkbox"/> FDOT database search | <input type="checkbox"/> Fla. Archives / photo collection | <input type="checkbox"/> newspaper files | <input type="checkbox"/> informal archaeological inspection |
| <input type="checkbox"/> HABS/HAER record search | <input type="checkbox"/> property appraiser / tax records | <input type="checkbox"/> city directory | <input type="checkbox"/> formal archaeological survey |
| <input checked="" type="checkbox"/> FMSF record search (sites/surveys) | <input type="checkbox"/> library research | <input type="checkbox"/> Public Lands Survey (DEP) | <input checked="" type="checkbox"/> cultural resource survey |
| <input checked="" type="checkbox"/> Other methods (specify) <u>Aerial photography</u> | | | |

Bibliographic References (give FMSF manuscript # if relevant, use separate sheet if needed)

ACHP, 2012, Program Comment: Streamlining Section 106 Review for Actions Affecting Post-1945 Concrete and Steel Bridges. Published in the Federal Register, Volume 77, Number 22 on November 16, 2012.

OPINION OF RESOURCE SIGNIFICANCE

Potentially eligible individually for National Register of Historic Places? ☐ yes ☒ no ☐ insufficient informationPotentially eligible as contributor to a National Register district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, use separate sheet if needed)

FDOT Bridge No. 870580 is a common style post-WWII bridge (reinforced concrete slab) exempted from Section 106 consideration by the 2012 ACHP Program Comment Streamlining Section 106 Review for Actions Affecting Post-1945 Concrete and Steel Bridges.

Area(s) of historical significance (See *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field & analysis notes, photos, plans, other important documents

- | | |
|-------------------------------------|--|
| 1) Document type <u>Field maps</u> | Maintaining organization <u>Janus Research</u> |
| Document description _____ | File or accession #'s _____ |
| 2) Document type <u>Field notes</u> | Maintaining organization <u>Janus Research</u> |
| Document description _____ | File or accession #'s _____ |

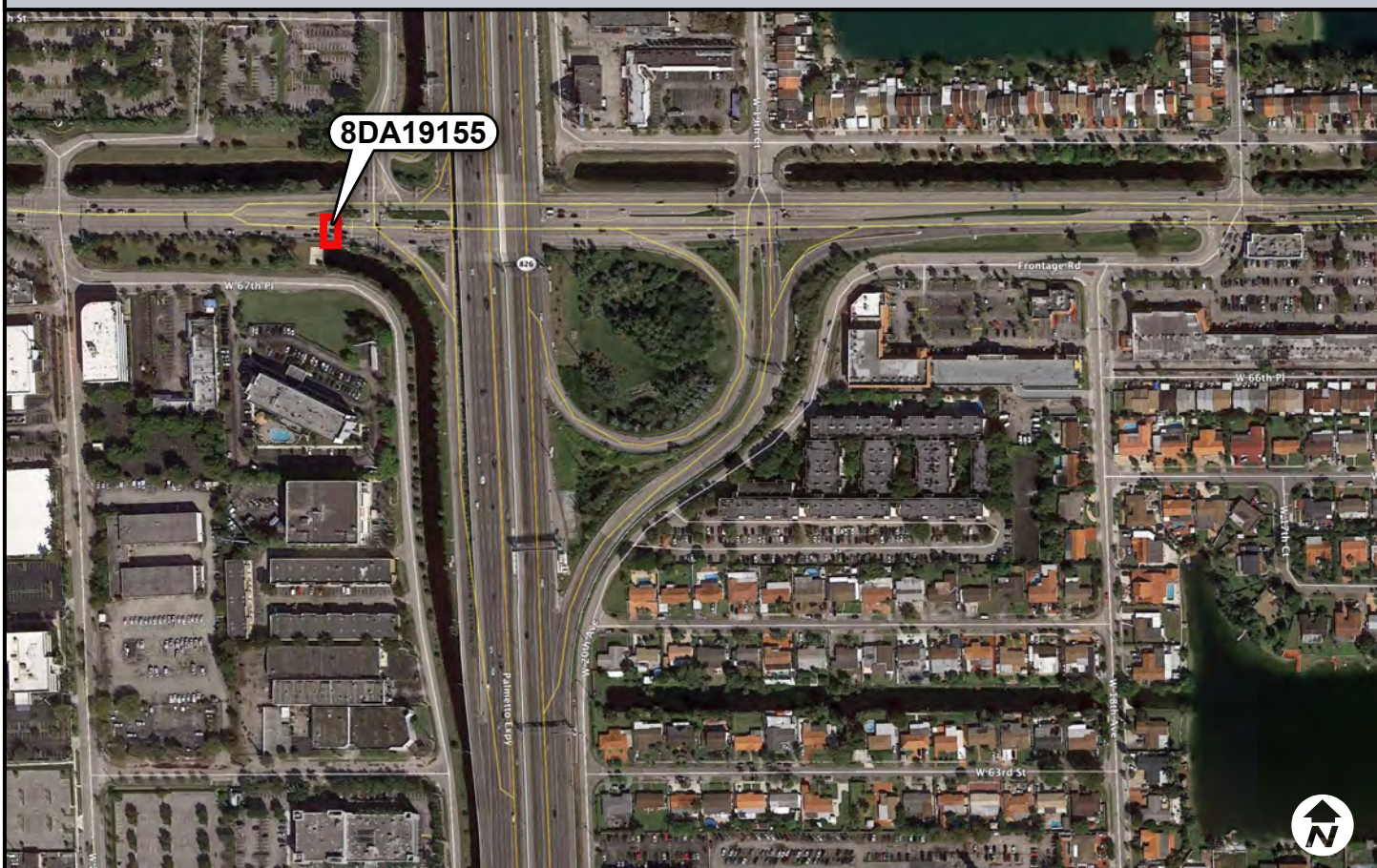
RECORDER INFORMATION

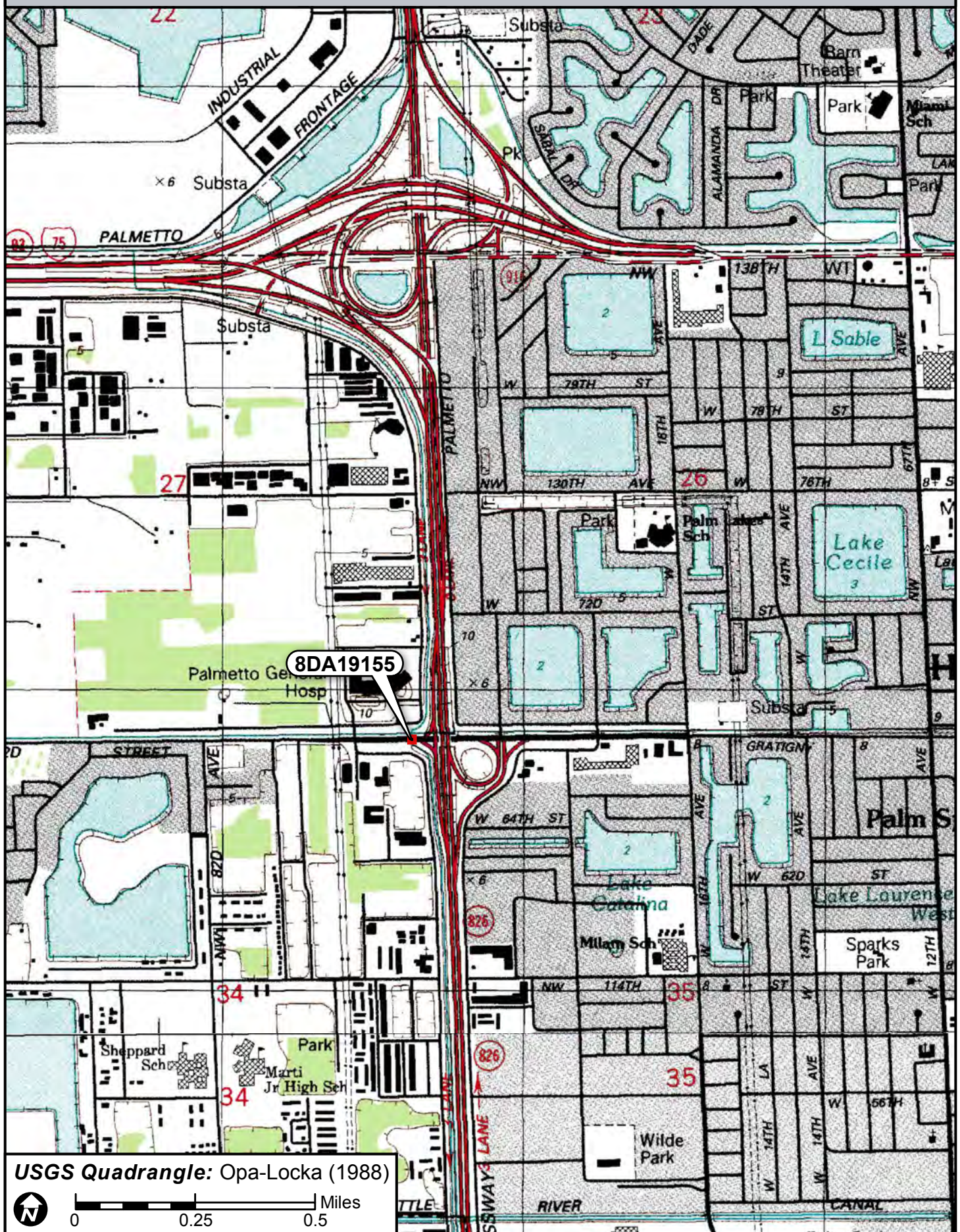
Recorder Name Janus ResearchAffiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com
(address / phone / fax / e-mail)

Required Attachments

- ❶ USGS 7.5' TOPO MAP WITH BRIDGE LOCATION CLEARLY MARKED
- ❷ PHOTO OF BRIDGE

When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.





USGS Quadrangle: Opa-Locka (1988)



0 0.25 0.5 Miles

☒ Original
☐ Update



HISTORICAL BRIDGE FORM

FLORIDA MASTER SITE FILE

Version 5.0 3/19

Consult Guide to the Historical Bridge Form for detailed instructions

Site #8 **DA19156**
 Field Date 9-30-2020
 Form Date 11-2-2020
 Recorder # 39
 FDOT Bridge # 870467

Bridge Name(s) FDOT Bridge No. 870467 Multiple Listing (DHR only) _____
 Project Name SR826/PalmettoExpy S of NW 36St to N of NW 154St Survey # (DHR only) _____
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☐ city ☐ county ☒ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Route(s) Carried/Feature(s) Crossed NB SR 826 over NW 138th Street
 USGS 7.5 Map Name OPA-LOCKA USGS Date 1988 Plat or Other Map _____
 City/Town (within 3 miles) Hialeah In City Limits? ☒ yes ☐ no ☐ unknown County Dade
 Township 52S Range 40E Section 23 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE Irregular-name: _____
 Township 52S Range 40E Section 26 1/4 section: ☐ NW ☐ SW ☐ SE ☐ NE
 Landgrant _____ Tax Parcel # _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 567692 Northing 2864633
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Year Built 1974 ☒ approximately ☐ year listed or earlier ☐ year listed or later
 Still in use? ☒ yes ☐ no ☐ restricted use (describe) _____
 Prior Fords, Ferries, or Bridges at this Location _____

Bridge Use: original and current with dates (standard descriptions: auto, railway, pedestrian, fishing pier, abandoned)
Auto bridge since construction

Ownership history

Designers/Engineers Unknown

Builders/Contractors Unknown

Text of Plaque or Inscription

None observed

Narrative History (How did bridge come to be built? How was it financed?, etc.)

Bridge partially reconstructed c. 1985; widened travel lanes

DESCRIPTION

GENERAL

Overall Bridge Design 1. Stringer--Multi Beam 2. _____

Overall Condition ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Style and Decorative Details

4-lane bridge carries northbound (NB) traffic on SR 826/Palmetto Expressway over NW 138th Street

Tender Station Description

Not applicable

Alterations: Dates and Descriptions

Roadway resurfaced/repainted since original construction date; travel lanes added since initial construction c. 1985 during partial reconstruction

DHR USE ONLY

OFFICIAL EVALUATION

DHR USE ONLY

NR List Date

SHPO – Appears to meet criteria for NR listing: ☐ yes ☐ no ☐ insufficient info

Date _____ Init. _____

KEEPER – Determined eligible:

☐ yes ☐ no

Date _____

☐ Owner Objection

NR Criteria for Evaluation: ☐ a ☐ b ☐ c ☐ d (see National Register Bulletin 15, p. 2)

DESCRIPTION (continued)

SUPERSTRUCTURE

Spans: Total Number 2 Total Length(ft) 162Main Spans: Number 2 Length(ft) 162 Width(ft) 58 Roadway width(ft) 44Main Span Design Stringer--Multi BeamMain Span Materials 1. Concrete 2. _____

Approach Spans: Number _____ Length(ft) _____ Width(ft) _____ Roadway width(ft) _____

Approach Span Design Not ApplicableApproach Span Materials 1. Not Applicable 2. _____Deck Materials 1. Concrete 2. _____

SUBSTRUCTURE

Abutment Materials 1. Concrete 2. _____Abutment Description Sloped concrete wallsPier Materials 1. Concrete 2. _____Pier Description central row of concrete piers supporting main spans

RESEARCH METHODS (check all that apply)

- | | | | |
|---|---|--|--|
| <input checked="" type="checkbox"/> FDOT database search | <input type="checkbox"/> Fla. Archives / photo collection | <input type="checkbox"/> newspaper files | <input type="checkbox"/> informal archaeological inspection |
| <input type="checkbox"/> HABS/HAER record search | <input type="checkbox"/> property appraiser / tax records | <input type="checkbox"/> city directory | <input type="checkbox"/> formal archaeological survey |
| <input checked="" type="checkbox"/> FMSF record search (sites/surveys) | <input type="checkbox"/> library research | <input type="checkbox"/> Public Lands Survey (DEP) | <input checked="" type="checkbox"/> cultural resource survey |
| <input checked="" type="checkbox"/> Other methods (specify) <u>Aerial photography</u> | | | |

Bibliographic References (give FMSF manuscript # if relevant, use separate sheet if needed)

ACHP, 2012, Program Comment: Streamlining Section 106 Review for Actions Affecting Post-1945 Concrete and Steel Bridges. Published in the Federal Register, Volume 77, Number 22 on November 16, 2012.

OPINION OF RESOURCE SIGNIFICANCE

Potentially eligible individually for National Register of Historic Places? ☐ yes ☒ no ☐ insufficient informationPotentially eligible as contributor to a National Register district? ☐ yes ☒ no ☐ insufficient information

Explanation of Evaluation (required, use separate sheet if needed)

FDOT Bridge No. 870467 is a common post-WWII bridge (pre-stressed concrete multi beam) exempted from Section 106 consideration by the 2012 ACHP Program Comment Streamlining Section 106 Review for Actions Affecting Post-1945 Concrete and Steel Bridges.

Area(s) of historical significance (See *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. _____ 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field & analysis notes, photos, plans, other important documents

- | | |
|-------------------------------------|--|
| 1) Document type <u>Field maps</u> | Maintaining organization <u>Janus Research</u> |
| Document description _____ | File or accession #'s _____ |
| 2) Document type <u>Field notes</u> | Maintaining organization <u>Janus Research</u> |
| Document description _____ | File or accession #'s _____ |

RECORDER INFORMATION

Recorder Name Janus ResearchAffiliation Janus ResearchRecorder Contact Information 1107 N Ward St Tampa, FL / 813-636-8200 / janus@janus-research.com
(address / phone / fax / e-mail)

Required Attachments

- ❶ USGS 7.5' TOPO MAP WITH BRIDGE LOCATION CLEARLY MARKED
- ❷ PHOTO OF BRIDGE

When submitting an image, it must be included in digital AND hard copy format (plain paper grayscale acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

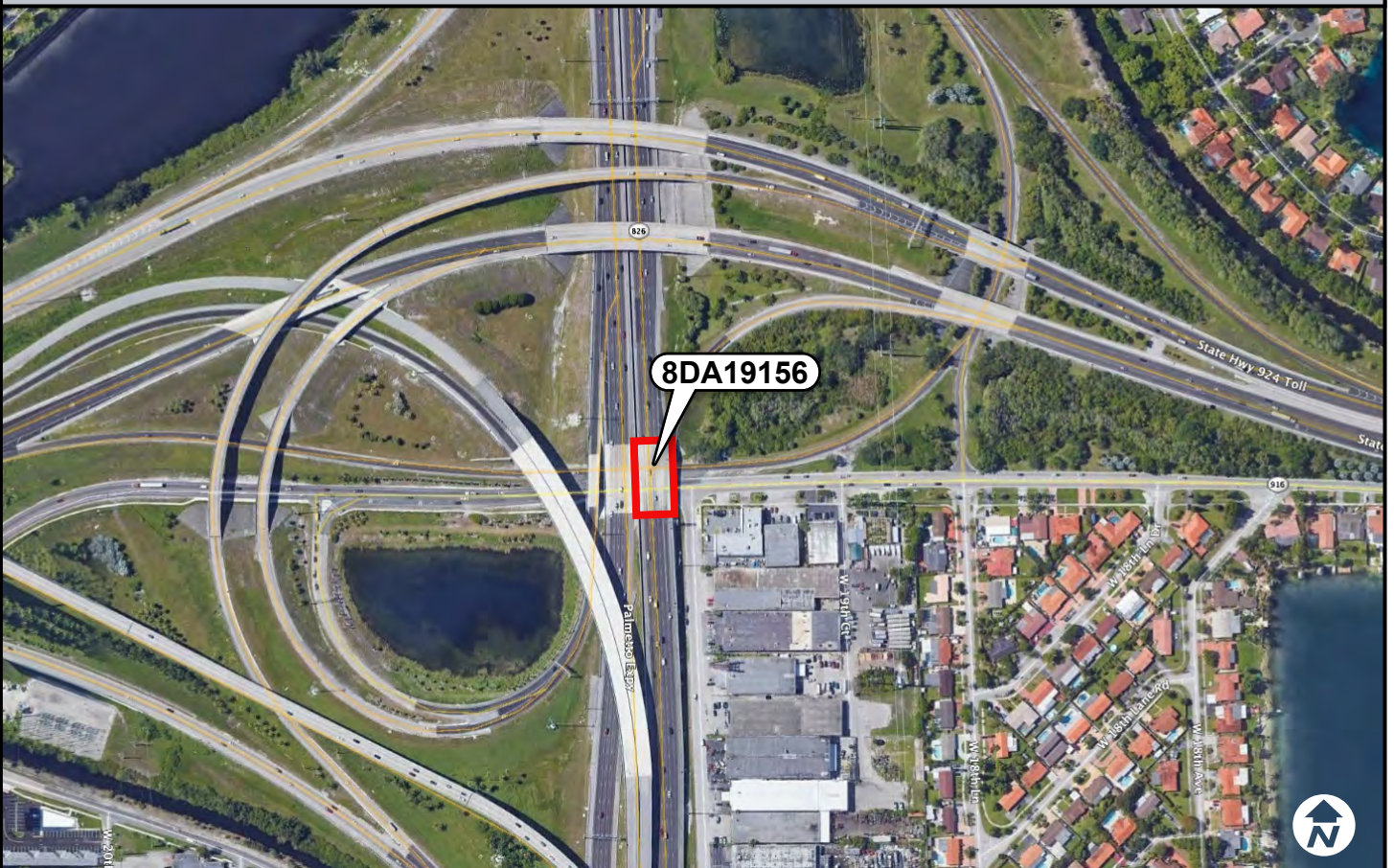
PHOTOGRAPH

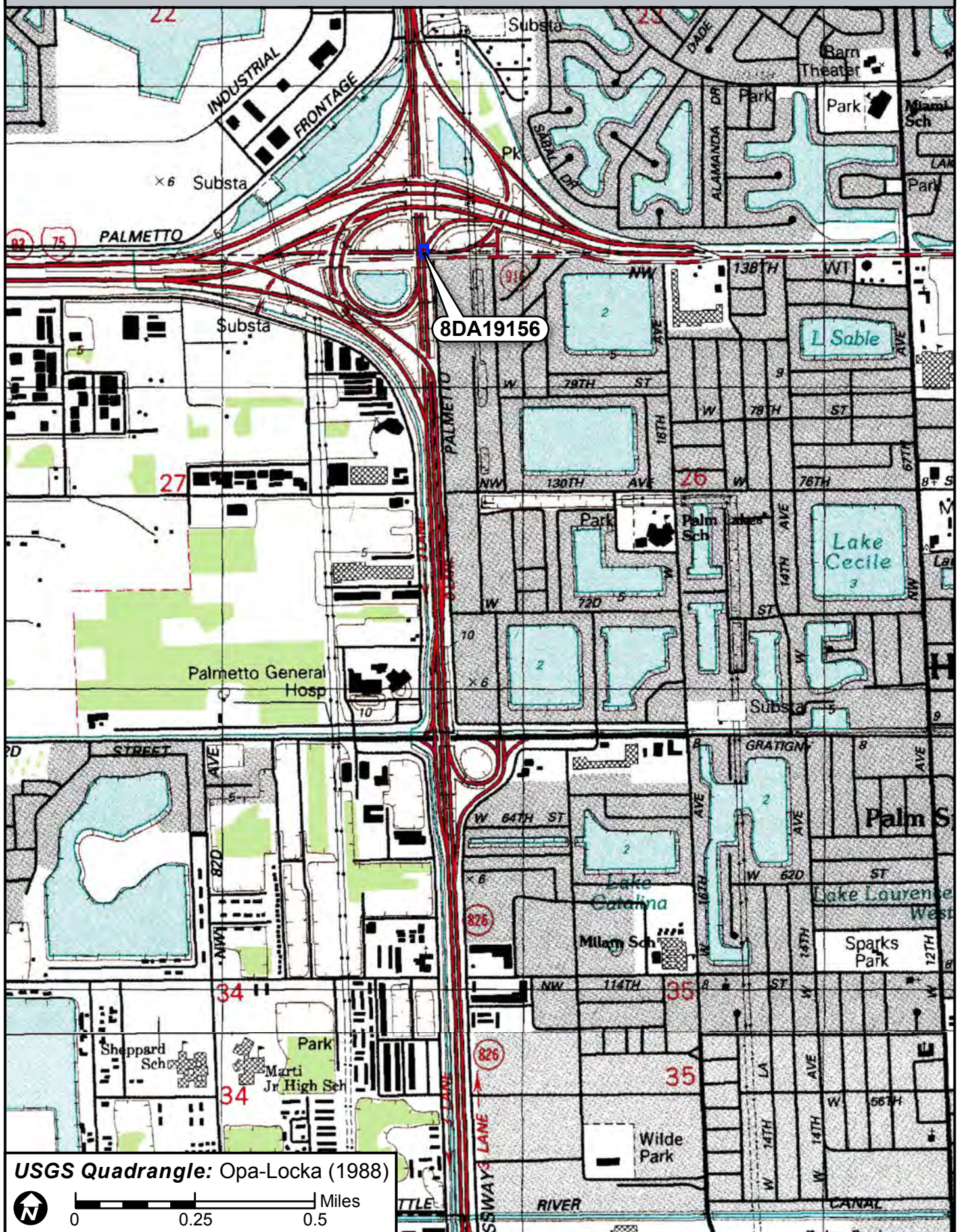
8DA19156



SKETCH MAP

8DA19156





USGS Quadrangle: Opa-Locka (1988)



0 0.25 0.5 Miles

APPENDIX B:
ITS AND SIGNAGE IMPROVEMENTS MEMO

Memo

To: Barbara Culhane, FDOT, District 6 Cultural Resources Coordinator/Environmental Supervisor II
Cc: Jenn King, AECOM, Inc.
From: Rudy J. Westerman and Amy Streelman, Janus Research
Date: November 6, 2020
Re: ITS and Signage Improvements for SR 826/Palmetto Expressway from South of NW 36th Street (MP 8.355) to North of NW 154th Street (MP 17.950) Project Development and Environment (PD&E) Study, in Miami-Dade County, Florida (FPID Nos. 447165-1-22-01, 441830-1-22-01, and 441831-1-22-01)

In 2020, the Florida Department of Transportation (FDOT), District 6 engaged Janus Research to conduct a Cultural Resource Assessment Survey (CRAS) for the State Road (SR) 826/Palmetto Expressway Project Development and Environment (PD&E) Study from South of NW 36th Street (MP 8.355) to North of NW 154th Street, in the towns of Miami Lakes and Medley and the cities of Hialeah and Hialeah Gardens, as well as unincorporated Miami-Dade County, Florida (Financial Project ID [FPID] Nos. 447165-1-22-01, 441830-1-22-01, and 441831-1-22-01). The purpose of this CRAS Appendix was to locate and evaluate archaeological and historic resources within the area of potential effect (APE) for ITS and signage improvements and to assess their eligibility for inclusion in the *National Register of Historic Places* (National Register) according to the criteria set forth in 36 CFR Section 60.4.

This assessment complies with the revised Chapter 267, *Florida Statutes (F.S.)*; and standards embodied in the Florida Division of Historical Resources (FDHR) *Cultural Resource Management Standards and Operational Manual* (February 2003), and Chapter 1A-46 (*Archaeological and Historical Report Standards and Guidelines*), *Florida Administrative Code*. In addition, this report was prepared in conformity with standards set forth in Part 2, Chapter 8 (*Archaeological and Historical Resources*) of the *FDOT Project Development and Environment (PD&E) Manual* (effective July 1, 2020). All work also conforms to professional guidelines set forth in the *Secretary of Interior's Standards and Guidelines for Archaeology and Historic Preservation* (48 FR 44716, as amended and annotated).

During the course of the CRAS report preparation, minor improvements were proposed to be added to the scope of work. The initial project footprint used in preparation of the CRAS included the roadway improvements, drainage, and bridge widening scope of work. The additional scope involves the installation, removal, and/or modification of Intelligent Transportation Systems (ITS) improvements, as well as the installation and removal of sign panels and structures (Figures 1a-1g). Most of the additional improvements were contained within the APE established for the CRAS. However, sign structure removals extended outside of this both south (Figure 1a) and north (Figure 1g) of the APE in the CRAS, and ITS

improvements extended south (Figure 1b) of the APE in the CRAS. The improvements located outside of the previous APE are within Sections 14, 15, and 26 of Township 53 South, Range 40 East and Sections 14 and 15 of Township 52 South, Range 40 East, on the Hialeah (1988) and Opa-Locka (1988) United States Geological Survey (USGS) quadrangle maps. The extended project limits are within the Town of Miami Lakes, the census-designated place of Country Club, and unincorporated Miami-Dade County.

AREA OF POTENTIAL EFFECT

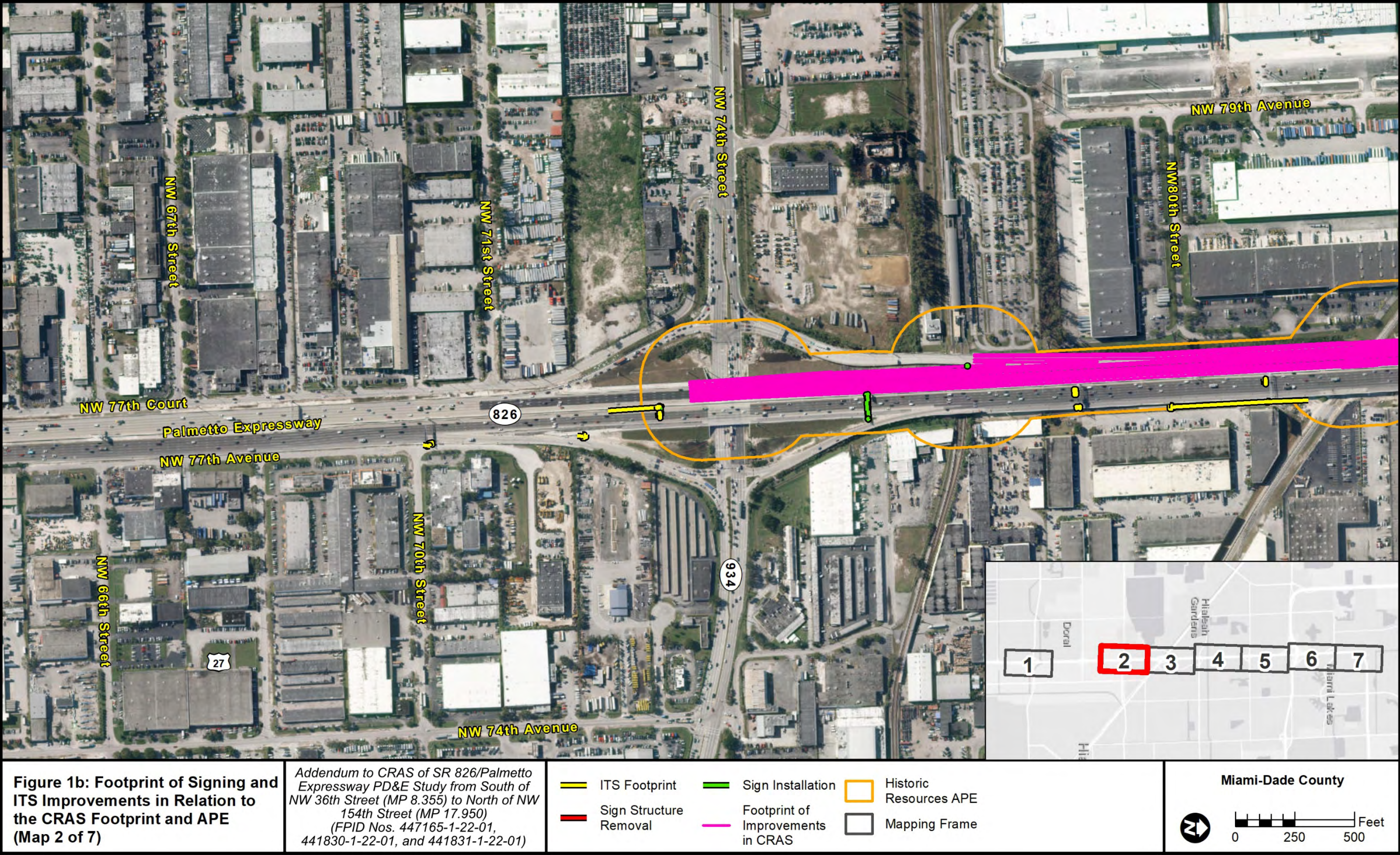
The project area of potential effect (APE) was determined by evaluating the improvements that will be implemented as part of the proposed project and also considered the developed character of the area containing the proposed improvements. The APE for archaeological resources typically focuses on identifying and evaluating resources within the geographic limits of the proposed action and its associated ground disturbing activities. Structural resources and other above ground resources can be impacted by those activities as well as alterations to setting, access, and appearance. The ITS and signage improvements are limited to the existing ROW. The APE for archaeological resources is limited to the footprint of subsurface signage and ITS activities within the existing ROW. Due to the nature of the proposed improvements, the historic APE was limited to the footprint of the proposed ITS and signage improvements within the existing ROW.

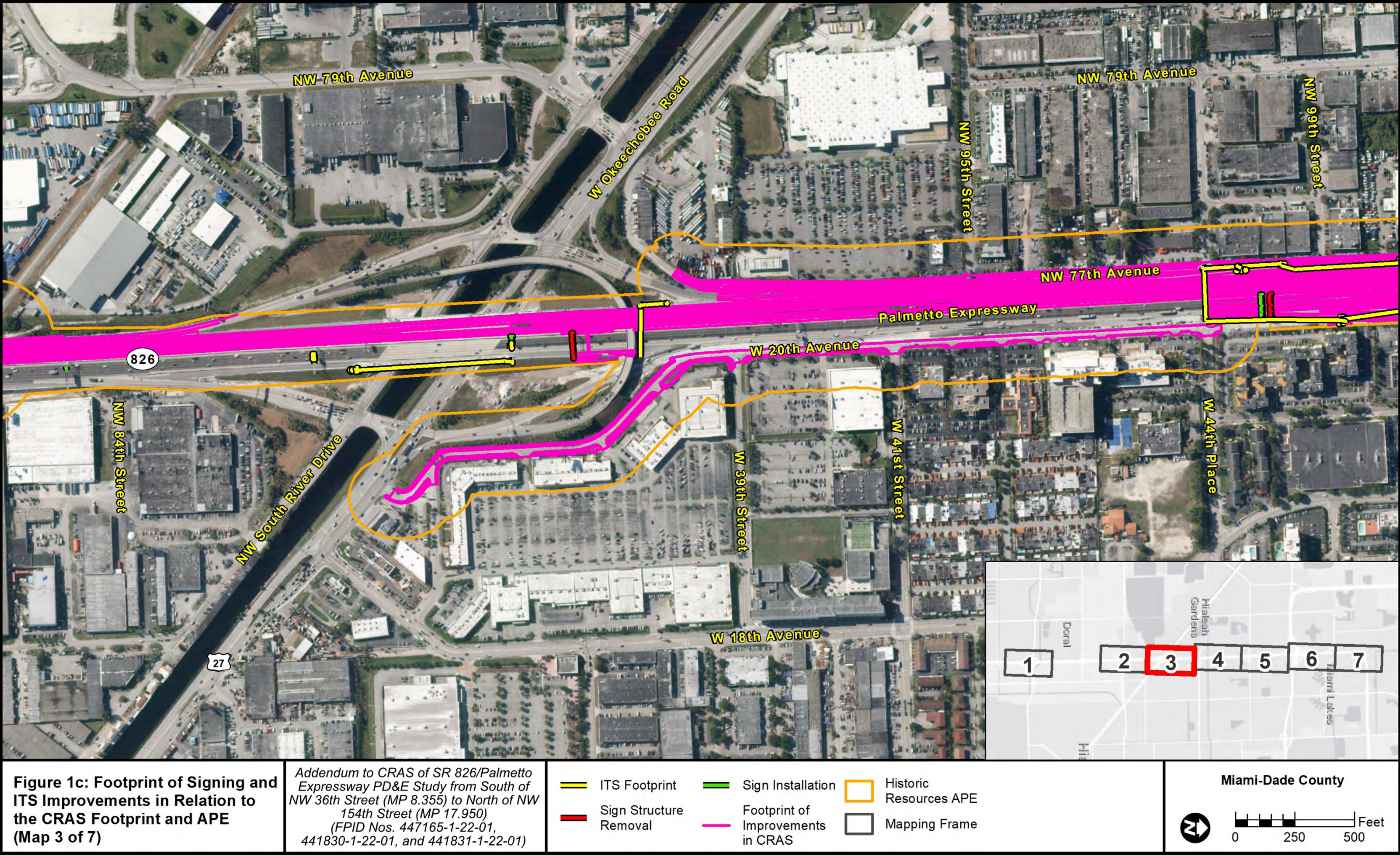
METHODS

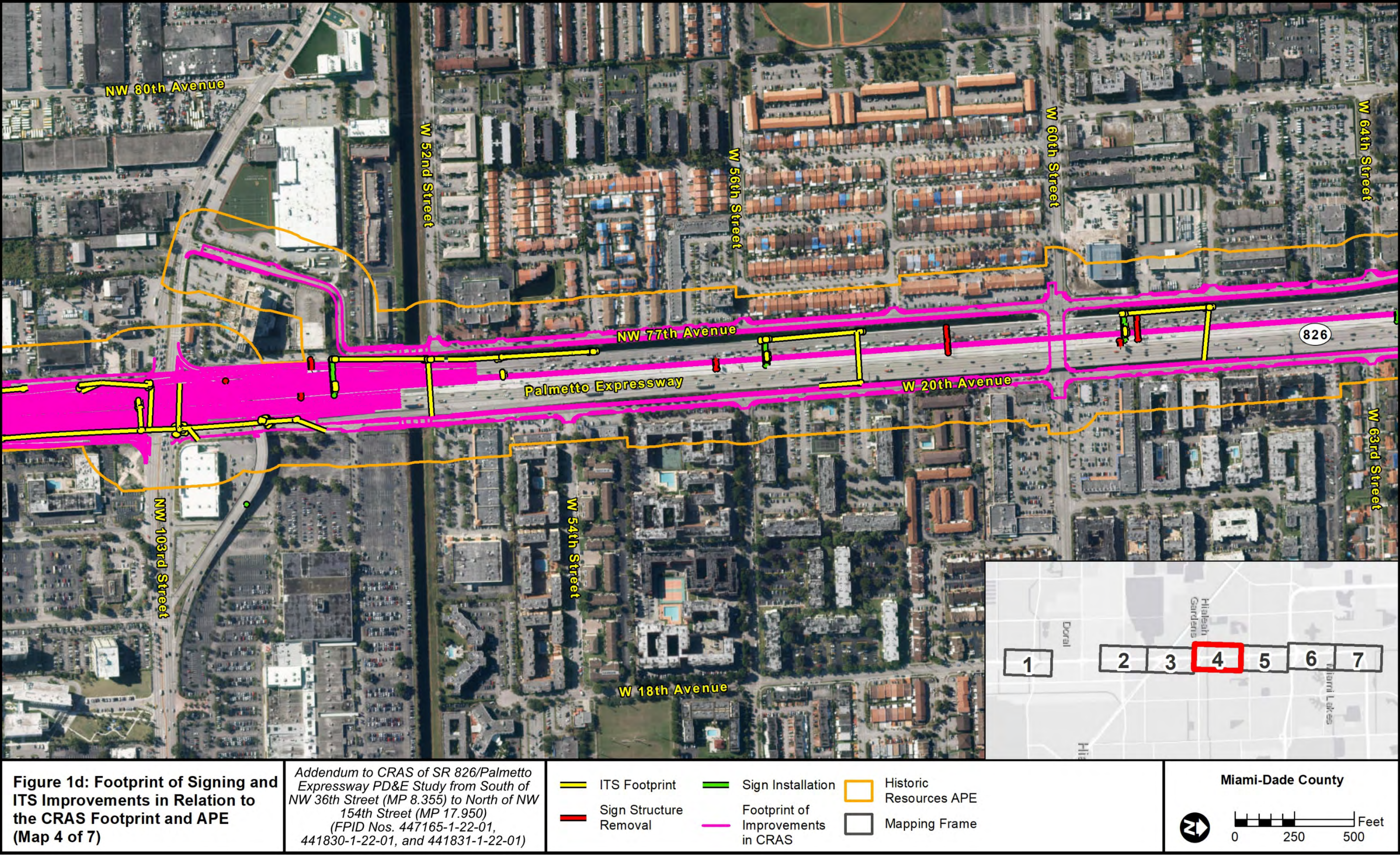
Cultural Resources Desktop Analysis

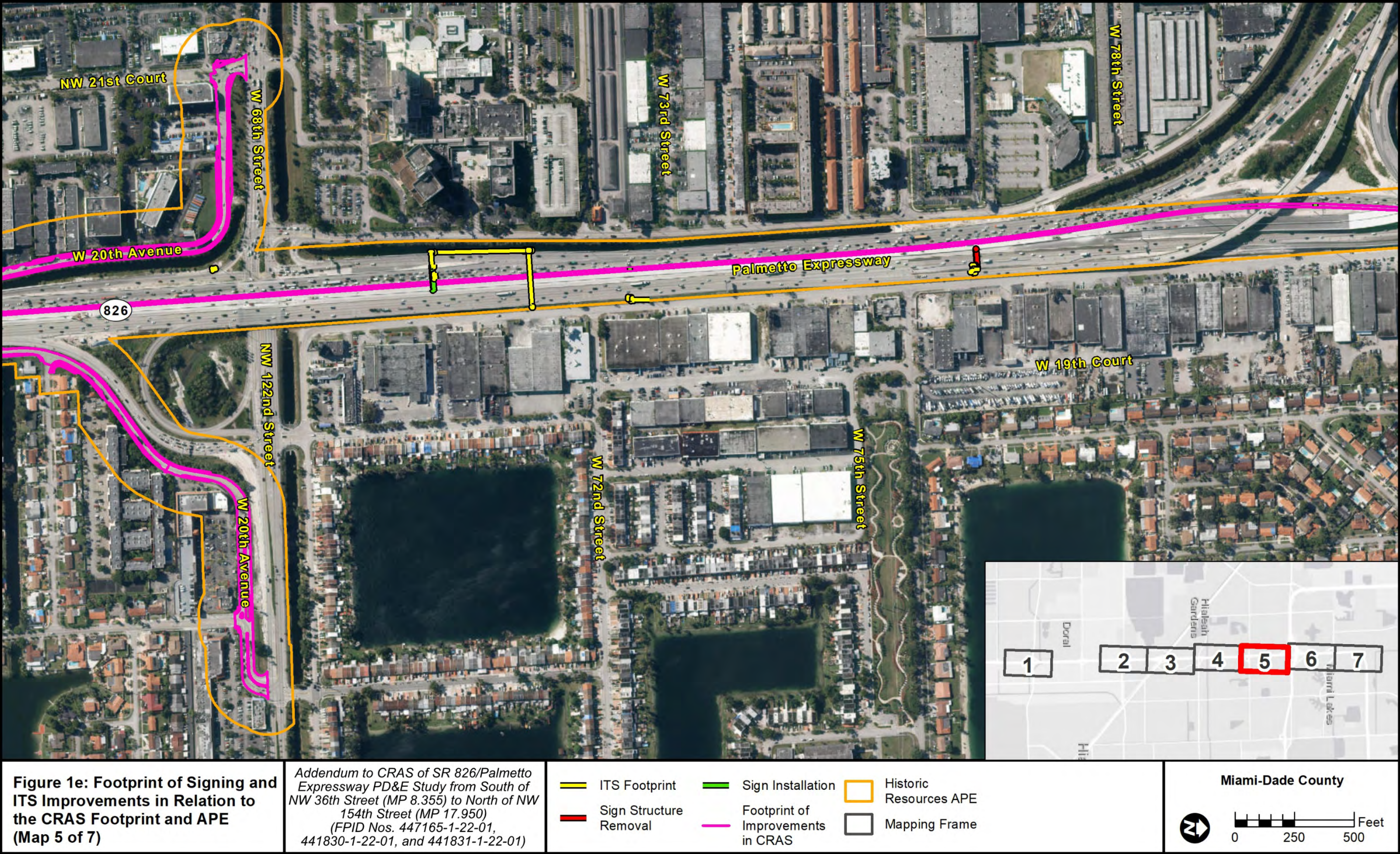
A desktop analysis of the project APE was performed to identify the presence of significant, or potentially significant, cultural resources that may be impacted by proposed project activities, and to establish zones of archaeological probability. An archaeological and historical literature and background search pertinent to the project APE was conducted to determine the types, chronological placement, and spatial patterning of cultural resources within the project APE. This investigation included a search of county and local site inventories, unpublished cultural resource management (CRM) reports, and the analysis of historic mapping. Background research methods also included a search of the Florida Master Site File (FMSF) to identify cultural resources that are listed, eligible, or considered eligible for listing in the National Register and resources with potential or confirmed human remains.

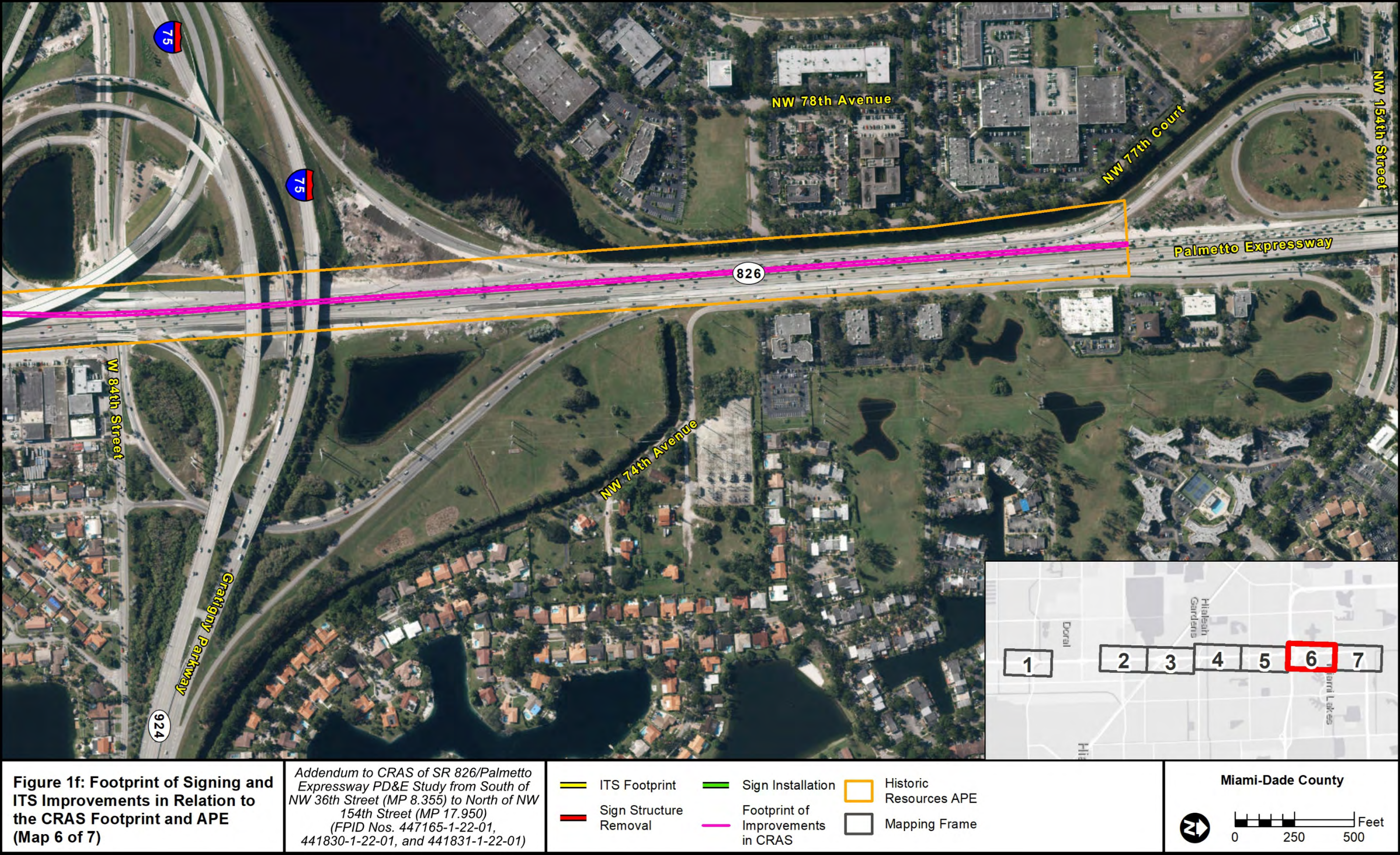














DESKTOP ANALYSIS

A review of previous surveys, FMSF data, Miami-Dade County Property Appraiser records, and other relevant historical research materials was conducted to determine the potential for significant archaeological and historic resources near the proposed improvements. The FMSF is an important planning tool that assists in identifying potential cultural resources issues and resources that may warrant further investigation and protection. It can be used as a guide but should not be used to determine the official position of the State Historic Preservation Officer (SHPO) or the Florida Division of Historical Resources (FDHR) regarding the significance of a resource.

A review of previously conducted surveys that overlapped with the CRAS APE was discussed in the overall report. The expanded APE for sign removals between NW 41st Street and NW 31st Street (Figure 1a) was recently surveyed during the *CRAS Reevaluation of the SR 826 (Palmetto Expressway) from Flagler Street to NW 154th Street and SR 93/I-75 from SR 826 to NW 170th Street, Miami-Dade County* (Janus Research 2016; FMSF Manuscript No. 23335). There are no ITS improvements proposed in this area. The expanded APE for ITS improvements between NW 70th Street and NW 74th Avenue (Figure 1b) was also surveyed during the Janus Research (2016; FMSF Manuscript No. 23335) survey. This survey identified no cultural resources within the expanded APE and determined the area to exhibit low archaeological site potential. SHPO concurred with the determinations of this report on November 2, 2016. The expanded APE for sign removals from approximately NW 159th Terrace to approximately NW 74th Court (Figure 1g) was recently surveyed during the *Technical Memorandum: CRAS Update of SR 826/Palmetto Expressway from I-75 to Golden Glades Interchange, Miami-Dade County, Florida* (SEARCH 2019; FMSF Manuscript No. 26514). There are no ITS improvements proposed in this area. This survey identified no cultural resources within this portion of the expanded APE and determined the area to exhibit low archaeological site potential. SHPO concurred with the determinations of this report on October 17, 2019. The SHPO concurrence letters for these two reports are included as Attachments A and B.

A search of the FMSF GIS data identified no previously recorded archaeological sites, historic resources, or historic districts within the expanded APE for ITS and signing improvements. No locally designated archaeological sites, zones, or historic resources or districts were identified within the expanded APE.

RESULTS AND CONCLUSIONS

The cultural resources desktop analysis resulted in the identification no historic or archaeological resources within the expanded APE, which is limited to the existing ROW. The expanded APE has experienced a high degree of previous disturbance from the construction of the existing expressway, local roadways, and underground utilities and drainage. The SHPO has previously determined the expanded APE to exhibit low archaeological site potential.

Unanticipated Finds and Post-Review Discoveries

Although unlikely, should construction activities uncover any archaeological material, it is recommended that activity in the immediate area be stopped while a professional archaeologist evaluates the material. If human remains are found during construction or maintenance activities, Chapter 872.05, *F.S.* applies and the treatment of human remains will conform to Chapter 3 of the FDOT *CRM Handbook*, Section 7-1.6 of the *FDOT's Standard Specifications for Road and Bridge Construction*, Stipulation XI of the Section 106 Programmatic Agreement, which require that all work cease immediately in the area of the human remains. Chapter 872.05 states that, when human remains are encountered, all activity that might disturb the remains shall cease and may not resume until authorized by the District Medical Examiner or the State Archaeologist. The District Medical Examiner has jurisdiction if the remains are less than 75 years old or if the remains are involved in a criminal investigation. The State Archaeologist may assume jurisdiction if the remains are 75 years of age or more.

REFERENCES CITED

Janus Research

2016 *Cultural Resource Assessment Survey Reevaluation for the SR 826 (Palmetto Expressway) from Flagler Street to NW 154th Street and SR 93/I-75 from SR 826 to NW 170th Street, Miami-Dade County, Florida*. Manuscript on file, Florida Division of Historical Resources, Tallahassee, Florida.

Southeastern Archaeological Research, Inc. (SEARCH)

2019 *Cultural Resource Assessment Survey Update of SR 826/Palmetto Expressway from I-75 to Golden Glades Interchange, Miami-Dade County*. Manuscript on file, Florida Division of Historical Resources, Tallahassee, Florida.

ATTACHMENT A:

2016 CRAS CONCURRENCE LETTER



Florida Department of Transportation

RICK SCOTT
GOVERNOR

1000 NW 111 Avenue
Miami, FL 33172-5800

JIM BOXOLD
SECRETARY

November 1, 2016

Dr. Timothy A. Parsons
Director, Division of Historical Resources and
State Historic Preservation Officer
R.A. Gray Building
500 South Bronough Street
Tallahassee, Florida 32399-0250

Re: Cultural Resource Assessment Survey Reevaluation for the SR 826 (Palmetto Expressway) from Flagler Street to NW 254th Street and SR 93/I-75 from SR 826 to NW 170th Street, Miami-Dade County, Florida
(FPID 432687-1-52-01, 432687-2-52-01)

Attention: Ms. Ginny Jones, Compliance Review Architectural Historian

Dear Dr. Parsons:

At the request of the Florida Department of Transportation (FDOT), District 6, Janus Research conducted a cultural resources reevaluation for SR 826 (Palmetto Expressway) from Flagler Street to NW 254th Street and SR 93/I-75 from SR 826 to NW 170th Street, Miami-Dade County. This project is within the boundaries of several previous cultural resource assessment surveys conducted by Janus Research between 2005 and 2014. The reevaluation was conducted due to a design change at the SR 826 (Palmetto Expressway) and SR 93/I-75 interchange.

The project is a federally funded Design-Build and all work was conducted in accordance with Stipulation VII of the Programmatic Agreement among the Federal Highway Administration (FHWA), the Advisory Council on Historic Preservation (ACHP), the Florida Division of Historical Resources (FDHR), the State Historic Preservation Officer (SHPO), and the FDOT Regarding Implementation of the Federal-Aid Highway Program in Florida (Section 106 Programmatic Agreement, effective March 2016), Section 106 of the National Historic Preservation Act (NHPA) of 1966 (Public Law 89-655, as amended), as implemented by 36 CFR 800 -- Protection of Historic Properties (incorporating amendments effective August 5, 2004), and the revised Chapter 267, Florida Statutes. The purpose of this field review and desktop analysis was to provide cultural resource information to assist in the avoidance of resources listed in, determined eligible for, or considered eligible for listing in the National Register of Historic Places

(National Register) according to the criteria set forth in 36 CFR Section 60.4 and to identify any historic properties that may be affected by the proposed project improvements.

Background research and field investigations during the previous surveys identified two previously recorded resources, 8DA40 and 8DA75, within the archaeological area of potential effect (APE) and FDOT made a commitment that a professional archaeologist would monitor subsurface activity during construction. These sites were monitored during construction activities by the Archaeological and Historical Conservancy, Inc. and no archaeological material was identified. Any additional subsurface activity in the locations of 8DA40 and 8DA75 will be monitored by the Archaeological and Historical Conservancy, Inc. and a report will be submitted to your office when monitoring is completed. The project area is not within any Miami-Dade County archaeological zones, and an updated review of FMSF data and Miami-Dade County designated archaeological sites identified no newly identified sites.

The historic resource field survey conducted as part of this reevaluation resulted in the identification of the previously recorded SR 826 Canal (8DA11681) and 11 newly recorded Industrial Vernacular style warehouse buildings (8DA14989–8DA14999). The entirety of the SR 826 Canal (8DA11681) within the APE has been determined National Register–ineligible by the SHPO. The 11 newly recorded buildings (8DA14989–8DA14999) are considered National Register–ineligible as part of the current reevaluation effort.

We kindly request that the cover letter and document are reviewed, and concurrence is provided by your office. This information is provided with in accordance with the provisions contained in 36 CFR, Part 800, as well as the provisions contained in the revised F.S. Chapter 267. If you have any questions regarding the subject project, please contact me at Barbara.Culhane@dot.state.fl.us or (305) 470-5231.

Sincerely,

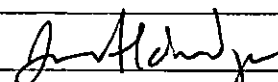


Barbara Culhane, M.S., A.I.C.P.
District Cultural Resources Coordinator

Timothy A. Parsons, Ph.D.
November 1, 2016
CRAS Reevaluation SR 826/I-75
FDID 432687-1-52-01, 432687-2-52-01
Page 3

The Florida State Historic Preservation Officer finds the attached Cultural Resource Assessment Survey complete and sufficient and ☒ concurs/ ☐ does not concur with the recommendations and findings provided in this cover letter for SHPO/FDHR Project File Number 2016-4694.

Comments:

For  Deputy SHPO
Timothy A. Parsons, Ph.D., Director, and
State Historic Preservation Officer
Florida Division of Historical Resources

11/2/2016

[DATE]

ATTACHMENT B:

2019 CRAS CONCURRENCE LETTER



Florida Department of Transportation

RON DESANTIS
GOVERNOR

1000 NW 111th Avenue
Miami, FL 33172-5800

KEVIN J. THIBAUT, P.E.
SECRETARY

RECEIVED
BUREAU OF
HISTORIC PRESERVATION
2019 OCT -8 A 9:26

October 1, 2019

Timothy A. Parsons, Ph.D.
Director and State Historic Preservation Officer
Florida Division of Historical Resources
Florida Department of State
R.A. Gray Building
500 South Bronough Street
Tallahassee, Florida 32399-0250

Attn: Dr. Adrienne Daggett

Re: Cultural Resource Reconnaissance Survey Update of SR 826/Palmetto Expressway from
I-75 to Golden Glades Interchange
Miami-Dade County, Florida
Financial Management Nos.: 435760-1 THROUGH 435760-6

Dear Dr. Parsons:

Enclosed please find the results of the cultural resource assessment survey (CRAS) update conducted in support of the reevaluation of the State Road (SR) 826/Palmetto Expressway Project Development and Environment (PD&E) Study from Interstate 75 (I-75) to Golden Glades Interchange (GGI) in Miami-Dade County, Florida. This study is being undertaken at the request of the Florida Department of Transportation (FDOT), District 6. The enclosed document serves as an addendum to the 2014 *Cultural Resource Assessment Survey for the State Road 826/Palmetto Expressway PD&E Study from I-75 to Golden Glades Interchange, Miami-Dade County, Florida* (Janus Research 2014b; Florida Master Site File [FMSF] No. 21076).

The SR 826/Palmetto Expressway PD&E (FM No. 418423-1) is segmented into six design/construction segments (FM No. 435760-1 through 435760-6); all are federally funded. This CRAS update is being conducted because of shifts in the project limits outside the previously established Area of Potential Effect (APE), the presence of additional resources that have reached the threshold for historic age within the APE since the previous survey was conducted, and the expansion of the APE in several locations. The construction of noise walls along various sections at either side of SR 826/Palmetto Expressway are also being proposed as part of this project.

The APE for the present CRAS update was designed to encompass the current project plans and the various proposed improvements in different locations along the project corridor. The adjustments to the APE in the vicinity of the proposed noise walls are based on the noise wall locational information provided by RS&H. In areas where no new noise walls are proposed, the APE for historic resources was limited to the back or side property lines of parcels adjacent to the current SR 826/Palmetto Expressway right-of-way (ROW), or the ROW of the adjacent service roads (NW 77th Avenue/NW 67th Street), for a distance of no more than 100 meters (330 feet). In areas where new 8-foot or 14-foot noise walls are proposed, the APE was also limited to parcels

adjacent to the SR 826 ROW, or the ROW of the adjacent service roads, provided that the viewshed for the proposed noise walls does not extend beyond that adjacent parcel. In locations where this viewshed is increased, the APE was expanded out to the back or side property lines of two or three parcels from the current SR 826/Palmetto Expressway ROW, as appropriate, up to a distance of no more than 100 meters (330 feet). The APE was expanded in some areas around existing overpasses along SR 826/Palmetto Expressway because the heightened roadway necessitated an increase to the viewshed for historic resources. In these overpass locations the APE was also limited to two or three parcels from the current SR 826/Palmetto Expressway ROW, up to a distance of no more than 100 meters (330 feet), as appropriate for that particular location. Regardless of whether a given portion of the project area includes proposed noise walls, extant overpasses, or has no such features, the APE for historic resources never exceeded 100 meters (330 feet) from the current SR 826/Palmetto Expressway ROW.

The current plans were also reviewed relative to the archaeological survey conducted during the 2014 CRAS. No additional archaeological survey was necessary for this CRAS update, as the archaeological APE has not changed from the 2014 CRAS.

Because there is already a completed PD&E study, and the project is currently in final design, Florida Master Site File (FMSF) forms were not updated for any historic resources within the APE that were previously recorded, including those that have been altered. Only newly recorded historic resources were documented as part of this CRAS update. Because the Bunche Park Historic District (8DA11613) partially intersects with the current APE, individual FMSF forms were completed for the district's newly recorded resources that fall within the current APE. An updated reevaluation of the Bunche Park Historic District (8DA11613) was not conducted as part of this CRAS update. However, the FMSF form for this district was updated by Janus Research as part of the *CRAS of the NW 27th Avenue Premium Transit Corridor PD&E Study from NW 62nd Street to NW 215th Street*, which is being done concurrently with this CRAS update. Please refer to this 2019 CRAS by Janus Research for the updated documentation and evaluation of the Bunche Park Historic District (8DA11613). Additionally, it was determined that one previously recorded historic resource within the project APE, 16701 NW 57th Avenue (8DA12870), has been demolished.


The purpose of the survey was to locate, identify, and bound any previously unrecorded historic structures and potential districts within the project APE and assess their potential for listing in the National Register of Historic Places (NRHP). All work was conducted to comply with Stipulation VII of the 2016 Programmatic Agreement between the Federal Highway Administration (FHWA), the Advisory Council on Historic Preservation (ACHP), the Florida Division of Historical Resources (FDHR), the State Historic Preservation Officer (SHPO), and the FDOT regarding implementation of the Federal-Aid Highway Program in Florida. This study was conducted to comply with Public Law 113-287 (Title 54 U.S.C.), which incorporates the provisions of the National Historic Preservation Act (NHPA) of 1966, as amended, and the Archeological and Historic Preservation Act of 1979, as amended. The study also meets the regulations for implementing NHPA Section 106 found in 36 CFR Part 800 (*Protection of Historic Properties*). Further, this study complies with Chapter 267 of the Florida Statutes and Rule Chapter 1A-46, Florida Administrative Code. All work was performed in accordance with Part 2, Chapter 8, of the FDOT's PD&E Manual (revised January 2019), as well as the FDHR's recommendations for such projects, as stipulated in the FDHR's *Cultural Resource Management Standards & Operations Manual, Module Three: Guidelines for Use by Historic Preservation Professionals*. The principal investigator for this project meets the Secretary of the Interior's *Standards and Guidelines for Archeology and Historic Preservation* (48 FR 44716-42).

A total of 122 newly identified historic resources were documented within the APE for the CRAS update. These newly recorded resources include 111 historic buildings, 10 historic bridges (8DA16472, 8DA16474-8DA16476, 8DA16548, 8DA17114-8DA17118), and one historic resource group (8DA16477).

Twenty-seven of these newly recorded historic resources (8DA16493-8DA16497, 8DA16499, 8DA16501-8DA16506, 8DA16508, 8DA16509, 8DA16511, 8DA16512, 8DA16515, 8DA16518, 8DA16520, 8DA16522-8DA16524, 8DA16526-8DA16528, 8DA16531, and 8DA16532) are eligible for listing in the NRHP as contributing to the NRHP-eligible Bunche Park Historic District (8DA11613). The remaining 95 historic resources within the APE lack the architectural distinction and the significant historical associations required for individual listing in the NRHP and are recommended ineligible. No potential historic districts were identified.

We kindly request that this cover letter and document are reviewed, and concurrence is provided by your office. This information is provided in accordance with the provisions contained in 36 CFR, Part 800, as well as the provisions contained in Section 106 of the National Historic Preservation Act (NHPA) of 1966 (Public Law 89-655, as amended). If you have any questions regarding the subject project, please contact me at Barbara.Culhane@dot.state.fl.us or (305) 470-5231.

Sincerely,



Barbara Culhane, M.S., A.I.C.P.
District Cultural Resources Coordinator

The Florida State Historic Preservation Officer finds the attached Cultural Resource Assessment Survey Report complete and sufficient and ☒ concurs / ☐ does not concur with the recommendations and findings provided in this cover letter for SHPO/FDHR Project File Number 2019-5850. Or, the SHPO finds the attached document contains _____ insufficient information.

In accordance with the Programmatic Agreement among the ACHP, SHPO and FDOT Regarding Implementation of the Federal-Aid Highway Program in Florida, if providing concurrence with a finding of No Historic Properties Affected for a project as a whole, or to No Adverse Effect on a specific historic property, SHPO shall presume that FDOT may approve the project as de minimis use under Section 4(f) under 23 CFR 774.

SHPO Comments:

for Miss Lotane
Timothy A. Parsons, PhD, Director

10/17/19
Date

Florida Division of Historical Resources

APPENDIX C:
SURVEY LOG SHEET

Ent D (FMSF only) _____



Survey Log Sheet

Florida Master Site File
Version 5.0 3/19

Survey # (FMSF only) _____

Consult *Guide to the Survey Log Sheet* for detailed instructions.

Manuscript Information

Survey Project (name and project phase)

CRAS for SR 826/Palmetto Expressway PD&E Study from South of NW 36th Street (MP 8.355) to North of NW 154th Street (MP 17.950)

Report Title (exactly as on title page)

Cultural Resource Assessment Survey for SR 826/Palmetto Expressway from South of NW 36th Street (MP 8.355) to North of NW 154th Street (MP 17.950) Project Development & Environment Study, Miami-Dade County

Report Authors (as on title page)

1. Janus Research

3. _____

2. _____

4. _____

Publication Year 2020Number of Pages in Report (do not include site forms) 101

Publication Information (Give series, number in series, publisher and city. For article or chapter, cite page numbers. Use the style of *American Antiquity*.)

Supervisors of Fieldwork (even if same as author) Names Streelman, Amy Groover; Kathleen Hoffman

Affiliation of Fieldworkers: Organization Janus Research City Tampa

Key Words/Phrases (Don't use county name, or common words like *archaeology, structure, survey, architecture, etc.*)

1. SR 826

3. _____

5. _____

7. _____

2. Palmetto Expressway

4. _____

6. _____

8. _____

Survey Sponsors (corporation, government unit, organization, or person funding fieldwork)

Name FDOT 6Organization Florida Dept of Transportation - District 6Address/Phone/E-mail 1100 NW 111th Avenue, Miami, FL 33172Recorder of Log Sheet Janus ResearchDate Log Sheet Completed 10-21-2020

Is this survey or project a continuation of a previous project? ☒ No ☐ Yes: Previous survey #s (FMSF only) _____

Project Area Mapping

Counties (select every county in which field survey was done; attach additional sheet if necessary)

1. Dade

3. _____

5. _____

2. _____

4. _____

6. _____

USGS 1:24,000 Map Names/Year of Latest Revision (attach additional sheet if necessary)

1. Name HIALEAHYear 1988

4. Name _____

Year _____

2. Name OPA-LOCKAYear 1988

5. Name _____

Year _____

3. Name _____

Year _____

6. Name _____

Year _____

Field Dates and Project Area Description

Fieldwork Dates: Start 9-30-2020 End 10-22-2020 Total Area Surveyed (fill in one) _____ hectares 288.00 acres

Number of Distinct Tracts or Areas Surveyed _____

If Corridor (fill in one for each) Width: _____ meters _____ feet Length: _____ kilometers _____ miles

Research and Field Methods

Types of Survey (select all that apply): ☒ archaeological ☒ architectural ☐ historical/archival ☐ underwater
☐ damage assessment ☐ monitoring report ☐ other(describe): _____

Scope/Intensity/Procedures

Desktop analysis for archaeological APE. Visual inspection of the project area of potential effects for historic resources.

Preliminary Methods (select as many as apply to the project as a whole)

☐ Florida Archives (Gray Building) ☐ library research- local public ☒ local property or tax records ☐ other historic maps ☐ LIDAR
☐ Florida Photo Archives (Gray Building) ☐ library-special collection ☒ newspaper files ☒ soils maps or data ☐ other remote sensing
☒ Site File property search ☐ Public Lands Survey (maps at DEP) ☐ literature search ☒ windshield survey
☒ Site File survey search ☐ local informant(s) ☐ Sanborn Insurance maps ☒ aerial photography
☐ other (describe): _____

Archaeological Methods (select as many as apply to the project as a whole)

☐ Check here if **NO** archaeological methods were used.
☐ surface collection, controlled ☐ shovel test-other screen size ☐ block excavation (at least 2x2 m) ☐ metal detector
☐ surface collection, uncontrolled ☐ water screen ☐ soil resistivity ☐ other remote sensing
☐ shovel test-1/4" screen ☐ posthole tests ☐ magnetometer ☒ pedestrian survey
☐ shovel test-1/8" screen ☐ auger tests ☐ side scan sonar ☐ unknown
☐ shovel test 1/16" screen ☐ coring ☐ ground penetrating radar (GPR)
☐ shovel test-unscreened ☐ test excavation (at least 1x2 m) ☐ LIDAR
☐ other (describe): _____

Historical/Architectural Methods (select as many as apply to the project as a whole)

☐ Check here if **NO** historical/architectural methods were used.
☐ building permits ☐ demolition permits ☐ neighbor interview ☒ subdivision maps
☐ commercial permits ☒ windshield survey ☐ occupant interview ☐ tax records
☐ interior documentation ☒ local property records ☐ occupation permits ☐ unknown
☒ other (describe): Aerial photography

Survey Results

Resource Significance Evaluated? ☒ Yes ☐ No

Count of Previously Recorded Resources 17 Count of Newly Recorded Resources 34

List Previously Recorded Site ID#s with Site File Forms Completed (attach additional pages if necessary)

8DA40, 8DA75, 8DA6352, 8DA6525, 8DA10107, 8DA11420, 8DA11680-8DA11683, 8DA12380-8DA12383, 8DA12389, 8DA12390, 8DA15160

List Newly Recorded Site ID#s (attach additional pages if necessary)

8DA19117-8DA19143, 8DA19147-8DA19150, 8DA19154-8DA19156

Site Forms Used: ☐ Site File Paper Forms ☒ Site File PDF Forms

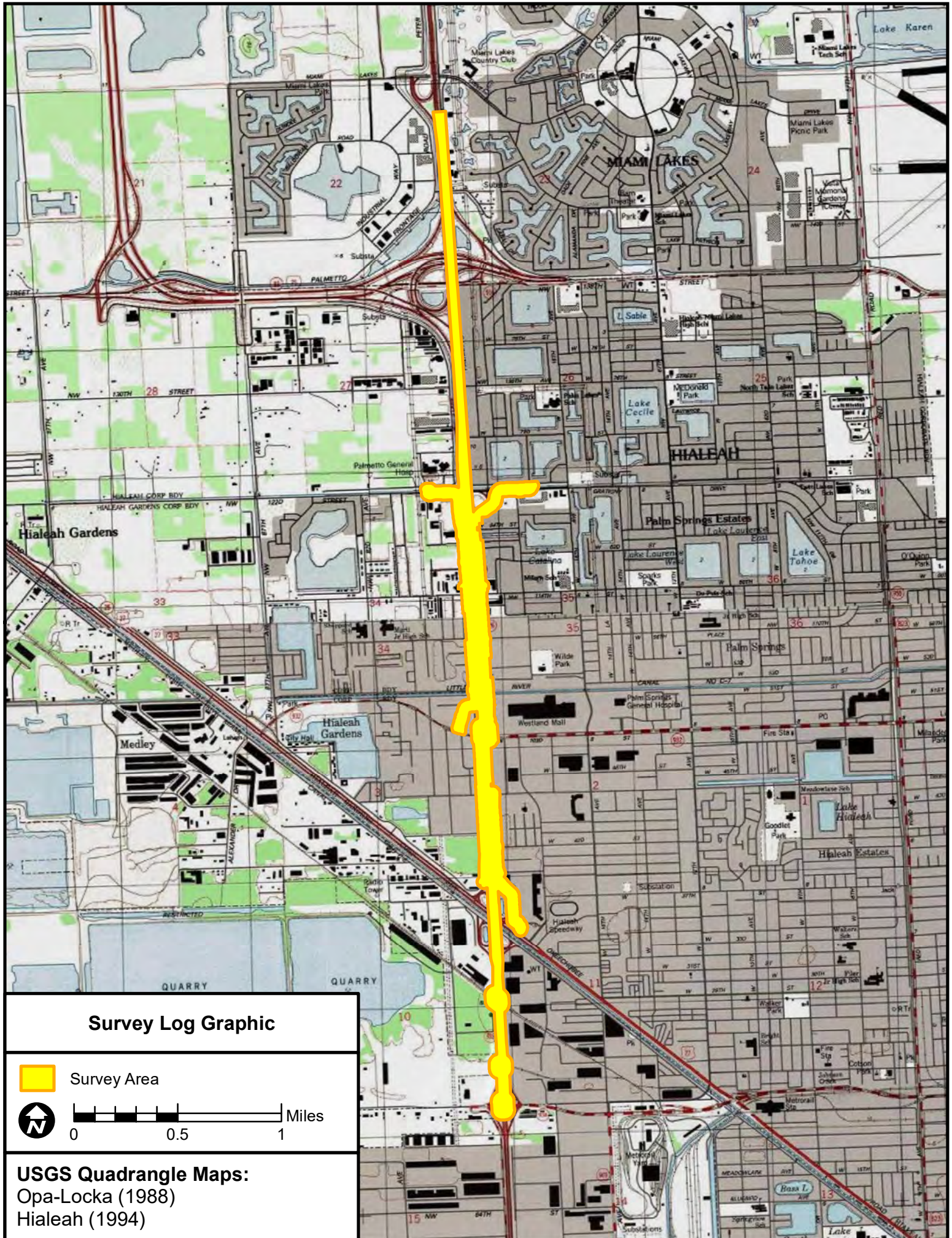
REQUIRED: Attach Map of Survey or Project Area Boundary

SHPO USE ONLY

SHPO USE ONLY

SHPO USE ONLY

Origin of Report: ☐ 872 ☐ Public Lands ☐ UW ☐ 1A32 # _____ ☐ Academic ☐ Contract ☐ Avocational
☐ Grant Project # _____ ☐ Compliance Review: CRAT # _____
Type of Document: ☐ Archaeological Survey ☐ Historical/Architectural Survey ☐ Marine Survey ☐ Cell Tower CRAS ☐ Monitoring Report
☐ Overview ☐ Excavation Report ☐ Multi-Site Excavation Report ☐ Structure Detailed Report ☐ Library, Hist. or Archival Doc
☐ Desktop Analysis ☐ MPS ☐ MRA ☐ TG ☐ Other: _____
Document Destination: Plottable Projects Plotability: _____



Survey Log Graphic



Survey Area



0 0.5 1 Miles

USGS Quadrangle Maps:

Opa-Locka (1988)

Hialeah (1994)